

Residential: Single Family Detached

Poplar Mills (Park Place) (CN-PSA-2022-00164)

1200 Cox Mill Road

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
7/2/2020	Yes	24	No	No	Yes	No		No

Allocation Request

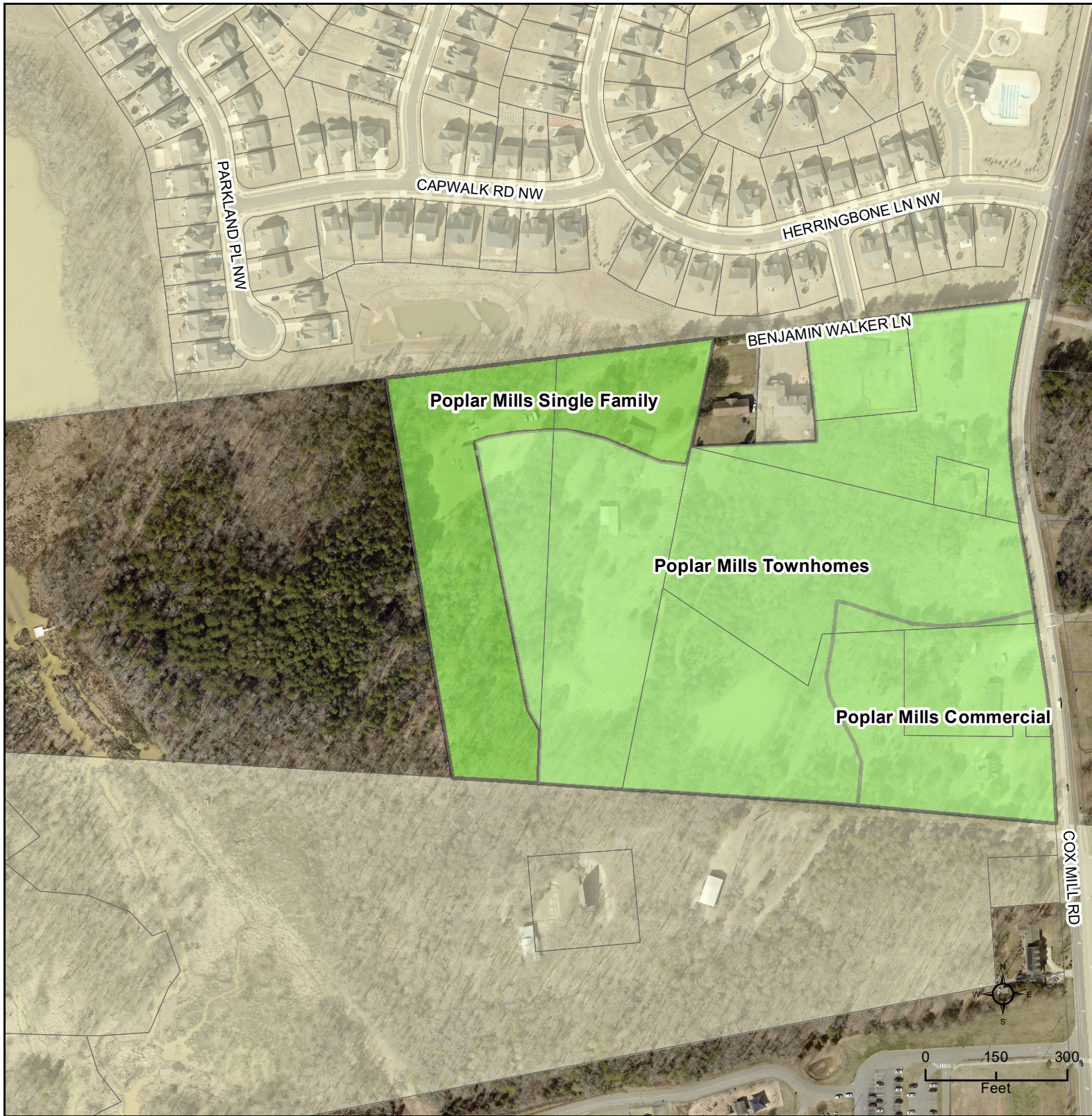
Total	2023
7,680	7,680

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	1	0	0	0	1

Brief Summary

The applicant is seeking sewer allocation for 24 single family detached residential units at 1200 Cox Mill Rd. NW. This site was heard and approved for rezoning on June 15, 2021. This is part of a larger horizontal mixed-use project with 141 units of single family attached and 31,250 square foot of commercial space including restaurant, retail, and daycare: the total square footage permissible by zoning is less than what is being requested in the non-residential sewer application. This site is adjacent to the Jim Ramseur Park. The applicant has a preliminary plat in the system for review and is record number CN-PLP-2022-00006.



CN-PSA-2022-00164

Poplar Mills Single Family






Type: Residential

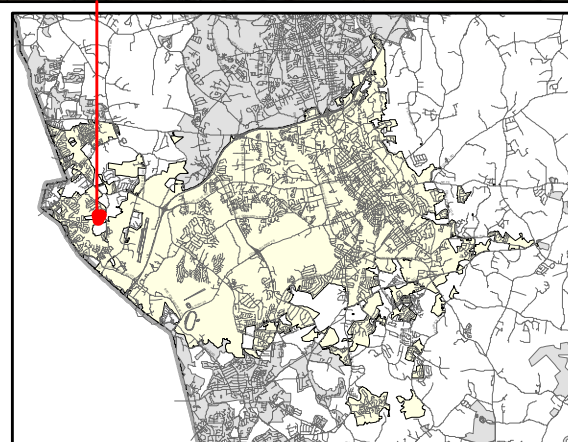
SF Detached

24 single family units

Allocation Request: 7,680

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Poplar Mills			
	2.)	Description of project location:	LOCATED ON COX MILL RD (SR-1448), APPROX 3500 LF SOUTH OF THE INTERSECTION OF POPLAR TENT RD (SR-1394) AND COX MILL RD (SR-1448) <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>			
	3.)	Cabarrus County Parcel Identification Number:	468033-8708	3a.)	Parcel Acreage:	28.03
	4.)	Site Zoning and use:	PUD	5.)	Area Commercial or Industrial Building	(sq. ft.) 32,000
	6a.)	Description of Facility to be served:	SINGLE FAMILY/TOWNHOMES/COMMERCIAL	6b.) Number of Lots	56	6c.) Number of Units 165
	7d.)	Additional description information:	ALSO INCLUDES PARCELS: 468034-8230, 468043-1923, 468044-0386, 468044-0585, 468034-8660, 468034-3187, 468034-1315			
	B. Applicant Information	HARI VUPPALA		407 SUTRO FOREST DR. NW		
		<small>(Title)</small>				
<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>				
AVA GLOBAL, LLC		CONCORD, NC, 28027				
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>				
704-488-3290		N/A				
<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>				
HARI VUPPALA (Name)		AVAGLOBALLC@GMAIL.COM (Email)	AVAGLOBALLC@GMAIL.COM			
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>				
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	HY NGUYEN		DPR DESIGN			
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>			
	NC PE 030523		919 BERRYHILL RD. SUITE 101			
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>			
	704-332-1204		CHARLOTTE, NC 28208			
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>			
BEN LAWRENCE		HNGUYEN@DPR.DESIGN				
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>				

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input checked="" type="checkbox"/>	Residential Subdivision	<input checked="" type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input checked="" type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input checked="" type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

70	% Domestic
30	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 60,445 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
SINGLE FAMILY DETACHED	320	gal/ UNIT/DAY	24	GPD	7,680
TOWNHOMES	240	gal/ UNIT/DAY	141	GPD	33,840
RESTAURANT	40	gal/ DAY/SEAT	220	GPD	8,800
RETAIL	100	gal/ DAY/1000 SF	11250	GPD	1,125
DAYCARE	25	gal/ DAY/CHILD+STAFF	340	GPD	8,500
POOL/CLUBHOUSE	10	gal/ PERSON	50	GPD	500
			Total	GPD	60,445

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, Hari Vuppala, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Hari Vuppala Digitally signed by Hari Vuppala
 Date: 2022.12.22 11:25:01 -05'00'

Signature: _____ Date: 12-22-2022

Poplar Mills Narrative

Due January 23, 2023, for consideration March 2023

Site Development Data:

--**Acreage:** ± 28.03 acres

--**Tax Parcel #:** 4680-34-1315, 4680-34-3187, 4680-34-8660, 4680-44-0585, 4680-44-0386, 4680-33-8708, 4680-43-1923, and 4680-34-8230

--**Existing Zoning:** LDR

--**Proposed Zoning:** PUD

--**Existing Uses:** Residential/Vacant

--**Proposed Uses:** 24 single-family detached dwelling units and 141 single family attached units. 2 commercial use buildings.

General:

Poplar Mills is a mixed-use development located on Cox Mill Road in Concord, NC approximately 3500' south of the intersection of Cox Mill Rd and Poplar Tent Rd. It will consist of 24 detached single-family units, 141 attached townhome units and 2 commercial buildings totaling 32,000 sf. Building 1 has been proposed for restaurant and retail use. Building 2 has been proposed for daycare use. Community amenities will include bench seating, walking trails, play areas as well as a community pond.

Project Description:

The site development plan concept will create a mixed use, pedestrian friendly community with a sustainable mix of residential and commercial land uses and intensities containing neighborhood services surrounded by sustainable neighborhood housing with diverse housing types, natural resources, open space areas, and connectivity to the planned community park as well as elementary and high school facilities in walking distance.

This planned development is consistent with the City's 2030 Land Use Plan in accordance with maintaining a sustainable balance of residential and commercial land uses, ensuring compatibility between neighboring land uses, protecting natural resources, retaining open space, connecting mixed uses by way of an integrated network of streets, bike paths and pedestrian access, among other plan goals.

In the event this development receives preliminary sewer capacity allocation for one or more uses, but not all proposed uses, the project will proceed with the approved use(s) and the developer will reapply until all proposed uses have been approved.

Consistent with Purposes of Planned Unit Development:

The proposed planned development will provide for the orderly development of land with a mix of land uses and PUD zoning district to permit flexibility in certain site design features and processing of this quality mixed-use development in exchange for enhanced design elements such as enhanced open space areas and multi-modal connectivity within the community. The proposed planned development promotes the most appropriate use of parcels on the Site, facilitates interconnected streets, substantial open spaces, unified signage/wayfinding, sidewalks, and bike paths with connectivity to the planned community park and nearby schools. The plan preserves/enhances open space and natural features that also offer recreational opportunities to residents. The proposed plan also supports neighborhood services uses for the broader community within walking or biking distances reducing vehicle trips to other commercial nodes.

Design Intent Statement:

Poplar Mills is a proposed walkable residential community where the residents of the community will have convenient and easy access to a series of passive and active open spaces that are interconnected by a network of streets, sidewalks, and trails.

Environmental Features:

The Site will comply with Stormwater and Water Quality requirements as set forth in the Ordinance and applicable NCDEQ Design Manual.

The Site is located outside of any FEMA 100-yr floodway and floodplain.

Price Points for Homes:

\$400k+ for Townhomes and \$450K+ for Single Family Detached homes.



1 SCHEMATIC ILLUSTRATIVE SITE PLAN
PLAN

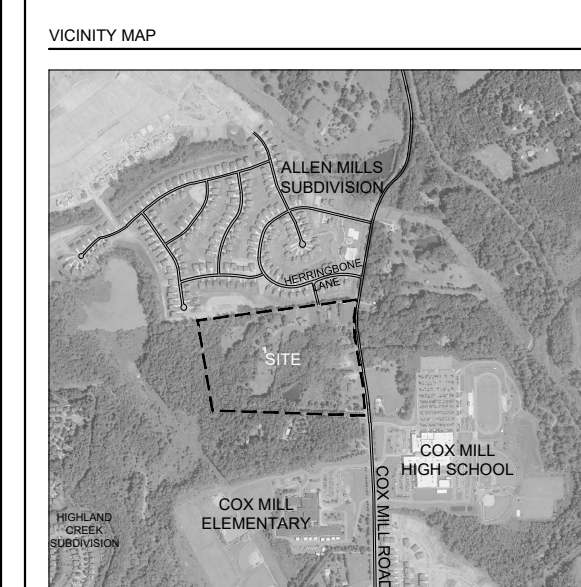
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704.488.3290

LAND USE ATTORNEY
MOORE&VANLLEN
100 NORTH TRYON STREET SUITE 4700
CHARLOTTE, NORTH CAROLINA 28202
704.331.1000



**PARK PLACE AT
COX MILL**

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
18016
DATE
02.08.2021

REZONING + ANNEXATION PLAN

NO.	DATE	DESCRIPTION	BY
1	04/07/21	SECOND SUBMISSION	CM + TW
2	05/06/21	THIRD SUBMISSION	CM + PK
3	05/26/21	FOURTH SUBMISSION	CM + PK
4	06/08/21	FIFTH SUBMISSION	CM + PK
5	06/09/21	SIXTH SUBMISSION	CM

PROJ. MANAGER: CM
DRAWN BY: TW + PK
CHECKED BY: CM

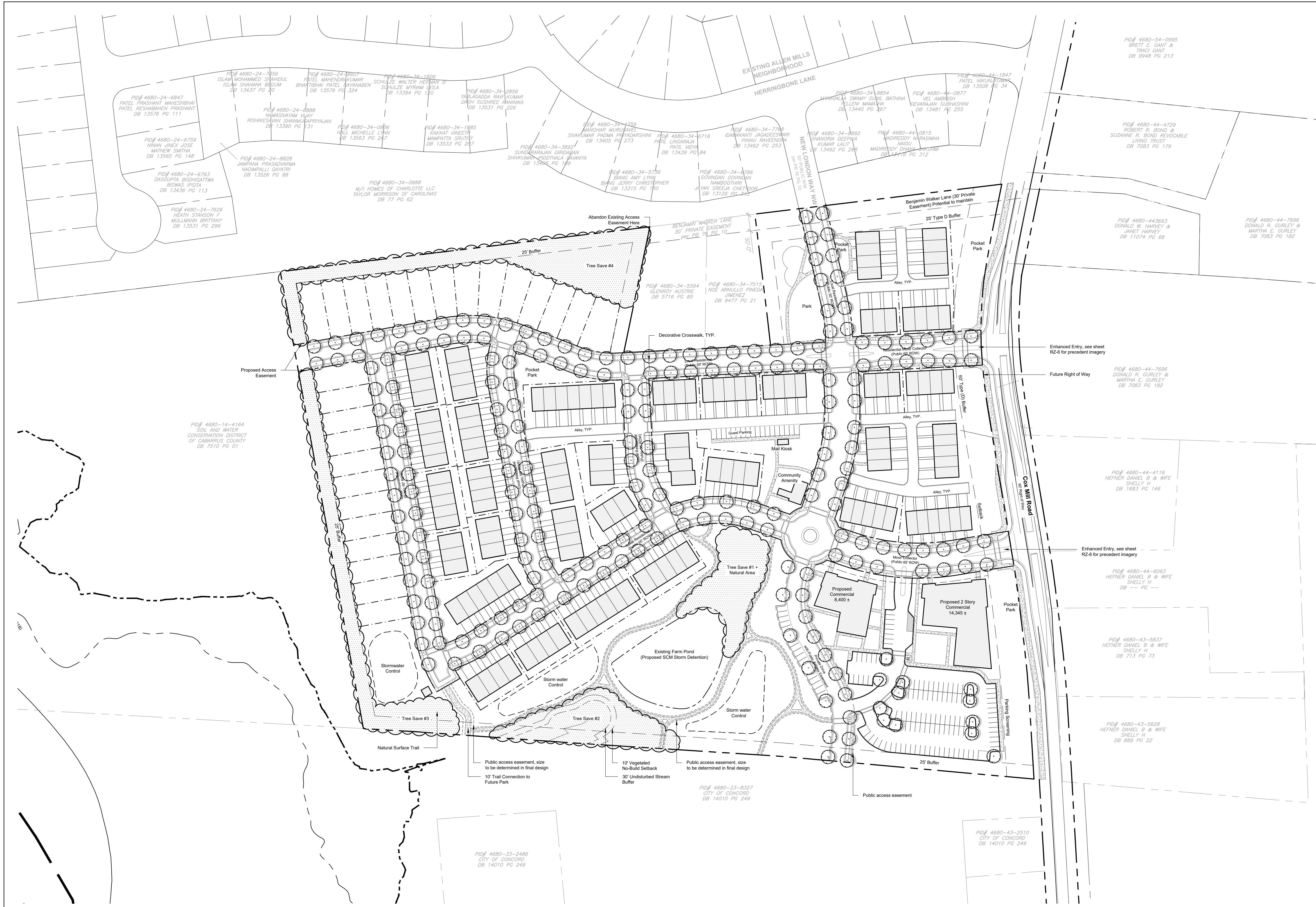
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DRAWING
ILLUSTRATIVE SITE PLAN

RZ-1

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SITE DEVELOPMENT DATA:

SITE:
 TOTAL SITE AREA: ± 28.03 AC.
 TAX PARCEL #: 4680-34-1315, 4680-34-3187, 4680-34-8660, 4680-44-0585, 4680-44-0386, 4680-33-8708, 4680-43-1923, + 4680-34-8230

EXISTING ZONING: LDR
PROPOSED ZONING: PUD
PROPOSED USE: (I) UP TO 168 SINGLE-FAMILY ATTACHED OR DETACHED DWELLING UNITS OF WHICH NO MORE THAN 142 SHALL BE SINGLE-FAMILY ATTACHED UNITS, AND (II) UP TO 31,250 SQUARE FEET OF COMMERCIAL USES AS ALLOWED BY RIGHT AND UNDER PRESCRIBED CONDITIONS TOGETHER WITH THE ACCESSORY USES IN THE PUD ZONING DISTRICT

PROPOSED DENSITY: 168 DU / 28.03 AC. = 5.99 DU PER AC.
PARKING RATIO: COMMERCIAL: 127 SPACES / 31,250 SF ± 4 SPACES / 1,000 SF

SETBACKS:

COMMERCIAL:
 FRONT YARD: 50' FROM COX MILL RW
 SIDE YARD: 10' FROM INTERIOR STREETS
 REAR YARD: 10' MIN.
 CORNER LOT: 5' MIN.

SINGLE FAMILY:
 MIN. LOT WIDTH: 40' (REQUESTED DEVIATION)
 FRONT YARD: 24' FROM RW
 SIDE YARD: 5' MIN.
 REAR YARD: 15'

TOWNHOMES:
 FRONT LOADED:
 FRONT YARD: 24' FROM RW
 SIDE YARD: 6' MIN.
 REAR YARD: 15'
 CORNER LOT: 6' (REQUESTED DEVIATION)
 REAR LOADED:
 FRONT YARD: 8' (REQUESTED DEVIATION)
 SIDE YARD: 6' MIN.
 REAR YARD: 20'
 CORNER LOT: 6' (REQUESTED DEVIATION)

IMPERVIOUS AREA:

NET SITE AREA: ± 28.03 AC
NET RESIDENTIAL AREA: ± 23.82 AC
NET COMMERCIAL AREA: ± 4.21 AC

RESIDENTIAL:
 STRUCTURES + DRIVEWAYS: ± 317,000 SF (30.6%)
 STREETS: ± 141,000 SF (13.6%)
 SIDEWALKS: ± 83,000 SF (8.0%)
 AMENITY: ± 8,000 SF (0.7%)

RESIDENTIAL TOTAL IMPERVIOUS AREA: ± 12.60 AC. (52.9% OF NET RES. AREA)

COMMERCIAL OUT PARCEL:
 STRUCTURES: ± 25,000 SF (13.6%)
 PARKING: ± 50,000 SF (27.3%)
 STREETS: ± 22,000 SF (12.0%)
 SIDEWALKS: ± 15,000 SF (8.8%)

COMMERCIAL OUT PARCEL TOTAL IMPERVIOUS: ± 2.57 AC. (61.1% OF NET COMMERCIAL AREA)

TOTAL IMPERVIOUS: ± 15.17 AC (54.12% OF NET DEVELOPMENT)

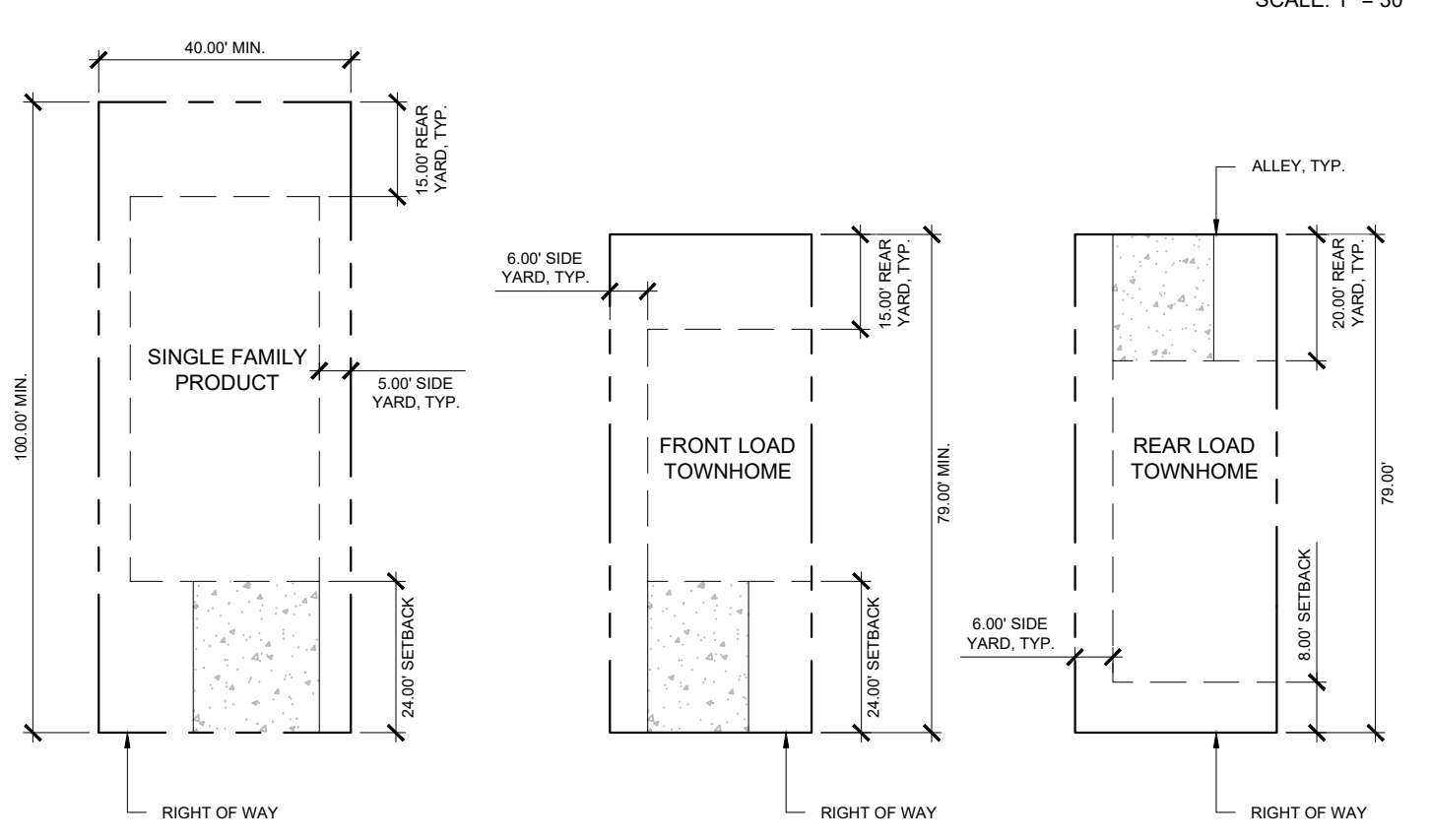
REQUESTED DEVIATIONS TO STANDARDS:

- THE FOLLOWING MODIFICATIONS TO MINIMUM STANDARDS ARE REQUIRED FOR THE SUCCESSFUL DEVELOPMENT OF THIS PROPERTY. OTHER MODIFICATIONS MAY BE REQUESTED DURING THE FINAL DESIGN OF THE PROJECT AS PROVIDED IN THE (PUD) ORDINANCE.
- THE MINIMUM SIDE YARD FOR EXTERIOR TOWNHOME UNITS SHALL BE 6' WITH MINIMUM 12' BUILDING SEPARATION.
 - THE MINIMUM DRIVEWAY SEPARATION FOR REAR LOAD TOWNHOMES SHALL BE 4' IN ALLEYS.
 - MAXIMUM IMPERVIOUS AREA FOR THE PROJECT SHALL BE 60%.
 - 40' MIN. LOT WIDTH FOR SINGLE FAMILY DETACHED HOMES.
 - 4000 SF MIN LOT SIZE FOR SINGLE FAMILY DETACHED HOMES
 - CORNER LOT SIDE YARD FOR TOWNHOMES
 - REQUESTED WAIVER OF 25' PUD BUFFER WHERE PROPOSED PUBLIC STREET ABUTS PARCELS: 4680345594 AND 4680347515
 - MAXIMUM IMPERVIOUS AREA IN RESIDENTIAL DISTRICT SHALL BE 60%
 - FRONT SETBACK ON REAR LOAD TOWNHOMES SHALL BE 8' FROM ROW

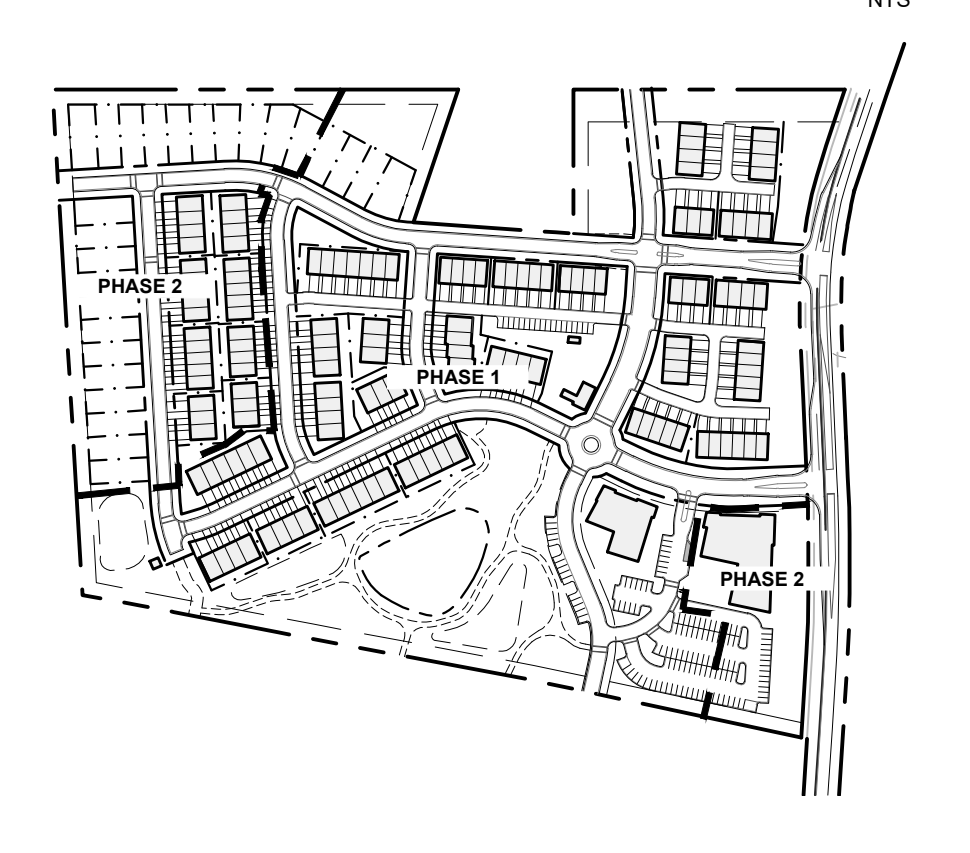
- NOTES:**
- ALLEYS NEED TO BE CONSTRUCTED TO LOAD BEARING STANDARDS TO SUPPORT SOLID WASTE VEHICLES, AS WELL AS A DAMAGE WAIVER PROVIDED.
 - PROJECT PHASING MAY BE REQUIRED DUE TO LIMITATIONS OF AVAILABLE SEWER CAPACITY ALLOCATION. FLOW ACCEPTANCE IS NOT GUARANTEED UNTIL PROJECT PERMITTING.
 - 25% OF THE STORMWATER GENERATED FROM THE SITE SHALL BE MANAGED WITH LID MEASURES AS INDICATED IN SECTION 8.11 IN THE DEVELOPMENT ORDINANCE. POTENTIAL ELEMENTS COULD BE BIO-RETENTION BASINS, SAND FILTERS, FILTER STRIPS OR PERVIOUS PAVING. THESE ELEMENTS WOULD BE INCLUDED IN LOW AREAS OF THE SITE TO ALLOW FOR NATURAL DRAINAGE TO THE LID MEASURE.
 - MAXIMUM IMPERVIOUS AREA IN RESIDENTIAL SHALL BE 60% TO ACCOMMODATE THE ADDITIONAL IMPERVIOUS AREA NEEDED TO DEVELOP REAR LOAD PRODUCT.
 - ACCESS TO THE CABARRUS SOIL AND WATER CONSERVATION PROPERTY SHALL BE PROVIDED AND HILL CONNECT WITH THE EXISTING PATH ON THE CABARRUS SOIL AND WATER CONSERVATION PROPERTY.
 - REQUIRED SITE DISTANCE SHALL BE MAINTAINED AT ALL INTERSECTIONS, INCLUDING ALLEYS

1 SCHEMATIC SITE PLAN

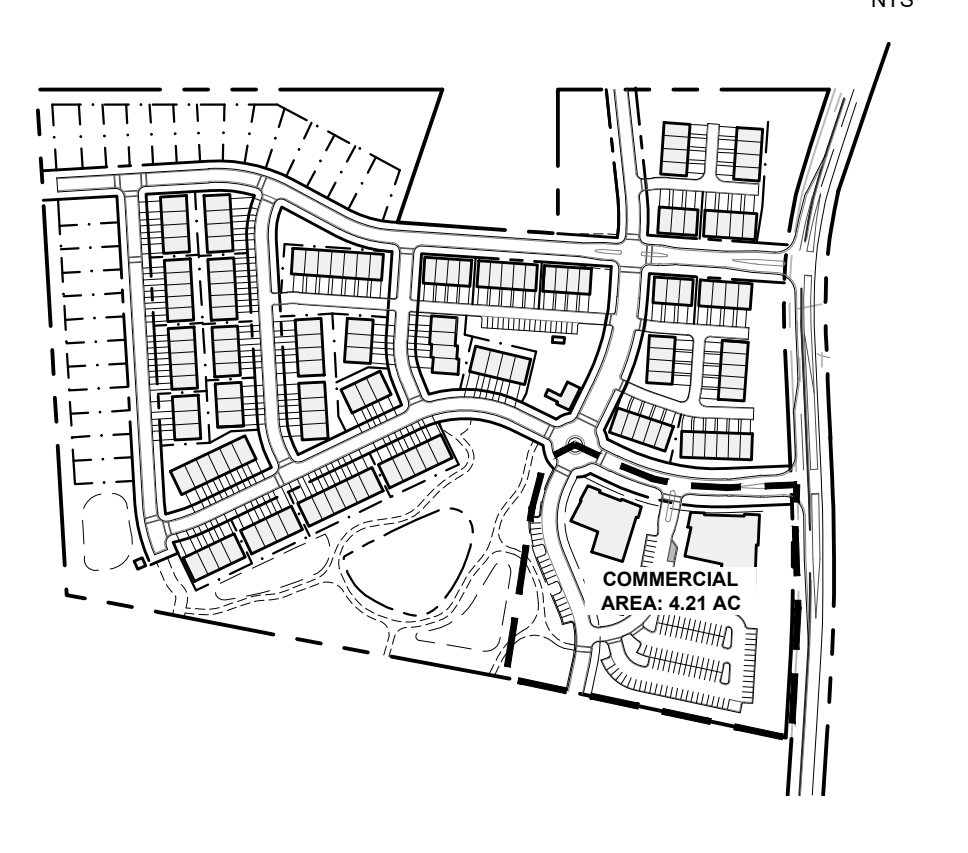
LOT DIAGRAM EXHIBIT:



PROJECT PHASING EXHIBIT:



COMMERCIAL AREA EXHIBIT:

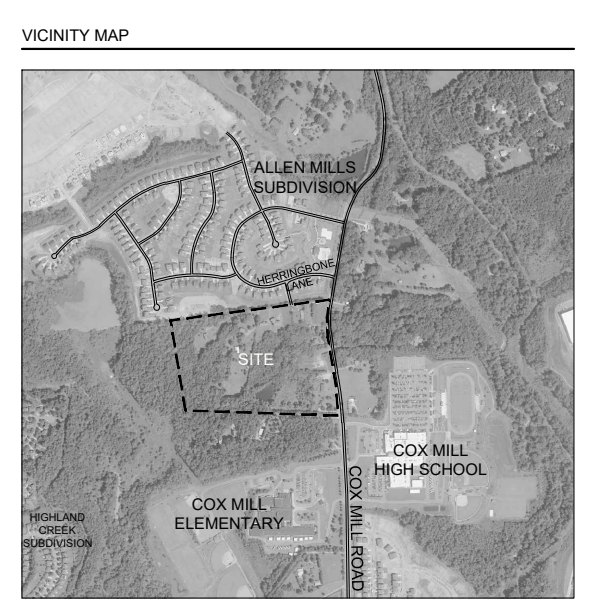


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PARK PLACE AT COX MILL

COX MILL ROAD
 CONCORD, NORTH CAROLINA

PROJECT NUMBER
 18016

DATE
 02.08.2021

ISSUED FOR
REZONING +ANNEXATION PLAN

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3	05/26/21	FOURTH SUBMISSION	CM + PK
4	06/08/21	FIFTH SUBMISSION	CM + PK
5	06/09/21	SIXTH SUBMISSION	CM

PROJ. MANAGER: C.M.
DRAWN BY: T.W + P.K.
CHECKED BY: C.M.

SCALE
 AS INDICATED

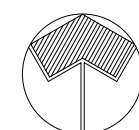
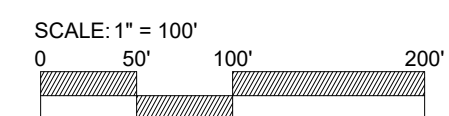
DRAWING
 SCHEMATIC SITE PLAN

RZ-2



1 SCHEMATIC UTILITY PLAN
PLAN

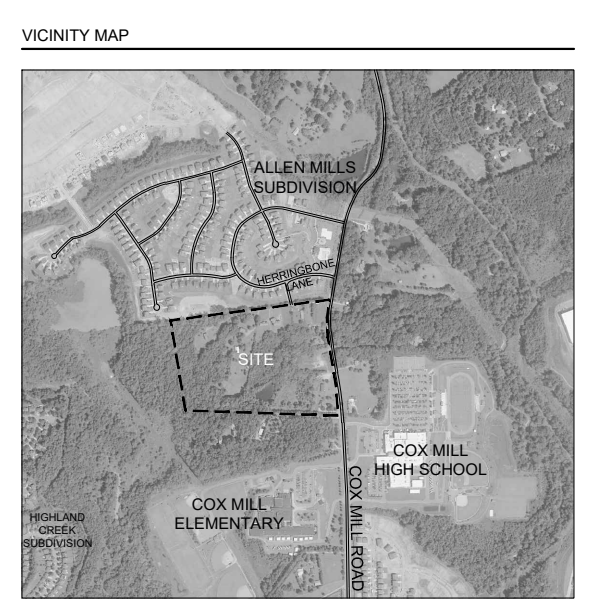
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PARK PLACE AT COX MILL

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
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REZONING + ANNEXATION PLAN

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4	06/08/21	FIFTH SUBMISSION	CM + PK
5	06/09/21	SIXTH SUBMISSION	CM

PROJ. MANAGER: C.M.
DRAWN BY: T.M. + P.K.
CHECKED BY: C.M.

SEAL

SCALE
AS INDICATED
DRAWING
SCHEMATIC UTILITY PLAN

RZ-3

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DEVELOPMENT STANDARDS:

AVA Global - Cox Mill Development Standards 6/8/2021 Rezoning Petition

Site Development Data:

-Average: 1.28.03 acres
-Tax Parcel #: 4680.34-1315, 4680.34-3187, 4680.34-8660, 4680-44-0585, 4680-44-0386, 4680-33-8708, 4680-43-1923, and 4680-34-8230
-Existing Zoning: LDR
-Proposed Zoning: PUD
-Existing Uses: Residential/Vacant
-Proposed Uses: (i) Up to 168 single-family attached or detached dwelling units...

1. General Provisions:

a. Site Location. These Development Standards, the Schematic Site Plan, and related graphics form the rezoning plan (collectively referred to as the "Rezoning Plan") associated with the Rezoning Petition filed by AVA Global, LLC and Kearey Construction (together the "Petitioner")...

b. Zoning Districts/Ordinance. Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the Concord Development Ordinance (the "Ordinance" or "CDO").

c. Development Areas. For ease of reference and as an organizing principal associated with the master planned community, the Rezoning Plan sets forth two (2) development areas (and other sub-areas within the Development Areas) as generally depicted on the Rezoning Plan as Development Areas A and B...

d. Graphics and Alterations. The depictions of lots, sidewalks, structures and buildings, building elevations, driveways, streets, buffers, storm water facilities, trails, and other development matters and site elements (collectively the "Development/Site Elements") set forth on the Rezoning Plan shall be reviewed in conjunction with the provisions of these Development Standards and Article 5.4.3.

Since the Project has not undergone the design development and construction phases, it is intended that this Rezoning Plan provide for flexibility in allowing alterations or modifications from the graphic representations of the Development/Site Elements provided such alterations or

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modifications are in accordance with applicable approval processes and Section 3.2.8 of the Ordinance

e. Approvals. It is understood approval of the Rezoning Plan does not constitute approval of any transportation element shown on the plan which may not meet technical standards. Technical review done during the preliminary plat and/or site plan stage may identify elements which do not meet technical standard which will need to be revised for technical plan approval.

f. Project Supports Purposes of PUD.

i. Project Description. The site development plan concept for the Site as described in this Rezoning Plan will create a mixed use, pedestrian friendly community with a sustainable mix of residential and commercial land uses and intensities containing neighborhood services uses surrounded by sustainable neighborhood housing with diverse housing types, natural resources/open space areas and connectivity to the planned community park as well as elementary and high school facilities in walking distance.

ii. Consistent with Purposes of Planned Unit Development. The proposed planned development will provide for the orderly development of land with a mix of land uses and seeks the PUD zoning district to permit flexibility in certain site design features and processing of this quality mixed-use development in exchange for enhanced design elements such as enhanced open space areas and multi-modal connectivity within the community.

2. Permitted Uses & Development Areas Phase I Commitments:

a. Development Area A may be developed with up to 168 single family residential units, of which no more than 142 can be developed as single family attached dwelling units as allowed by right and under prescribed conditions, together with accessory uses, as permitted in the PUD zoning district...

b. Development Area B may be developed with up to 31,250 square feet (i.e. total floor area of all floors) of commercial uses, as allowed by right and under prescribed conditions, together

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with accessory uses and other uses as permitted in the C-1 and B-1 zoning district as established in the use table (CDO 8.1.8) excluding the following uses:

- Adult entertainment establishments
- Automobile repair, major
- Automobile wash (car wash), including detailing service
- Vehicle sales, lease, rental, including boat, rv and storage buildings
- Pawnshops
- Bail bonding
- Drive through and/or drive in restaurants
- Internet/electronic gaming establishment
- Variety stores

Note: The uses designated as "permitted with supplemental regulation" in Table 8.1.8 shall still be subject to the specific design regulations as prescribed in Section 8.3; the specific reference is indicated in the "standards" column of the use table.

c. Phase I Non-residential Commitment. To encourage a mix of uses to occur as part of the first phase of development taking place on the Site, a minimum of 8,400 square feet of non-residential uses as permitted herein shall be developed and completed as evidenced by the applicable certificate of occupancy/certificate of compliance for such uses prior to development and issuance of building permit for the 113th residential dwelling unit on the Site.

3. Access and Transportation:

aa. Technical Review; Illustrations. Transportation technical review will be done throughout the site plan/construction documents review and approval process and may require minor and/or significant changes to the Site as generally depicted on the Rezoning Plan. Driveway locations, street design and other transportation related elements shown in the plans or illustrations may not meet the technical standards and are not intended to constitute approval of an exception to technical standards unless expressly noted as a variation in standards described herein.

a. Access. Access to the Site will be from Cox Mill Road as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site development and construction plans and to any adjustments required for approval by the City of Concord and/or NCDOT in accordance with applicable published standards, and may require revision to the Traffic Impact Analysis prepared by Kimley-Horn and Associates, Inc. dated September 18, 2020 (the "TIS").

b. Improvements and Phasing. The Petitioner shall install phased transportation improvements per the approved traffic impact analysis subject to the following:

- i. Transportation Based TIS Phasing; Adjustments in Development Levels Above TIS Amounts. The improvements set forth in the TIS shall be substantially complete prior to the issuance of the first (1st) certificate of compliance associated with the residential units or the commercial development; provided, however, Applicant may seek phasing of transportation improvements

CHAR22320612-10

corresponding detail of the interceptor structure itself with actual dimensions; this includes any referencing to the latest version of the plumbing code.

d. Project phasing may be required due to limitations of available sewer capacity allocation. Flow acceptance is not guaranteed until project permitting.

9. Amendments to the Rezoning Plan:

a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable portion of the Site affected by such amendment in accordance with the provisions of the Ordinance.

10. Binding Effect of the Rezoning Application:

a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

11. Requested Deviations to Standards and Justifications:

a. The minimum side yard for exterior townhome units shall be 6' with minimum 12' building separation. Justification: Reduction of the side yards consolidates the development footprint allowing for increased public open space and pedestrian connectivity.

b. The minimum driveway separation for rear load townhomes shall be 4' in the alleys. Justification: Decreased driveway separation consolidates the development footprint allowing for increased public open space and pedestrian connectivity.

c. Maximum impervious area in residential district shall be 60%. Justification: The increase in impervious area in the residential district allows the use of rear load townhome products. Rear load townhomes have significantly more impervious area compared to front load, but better contribute to the creation of appealing open spaces, framed streetscapes and pedestrian and vehicular circulation.

d. Maximum impervious for the overall project shall be 60%. Justification: The increase in impervious area in the residential district allows the use of rear load townhome products. Rear load townhomes have significantly more impervious area compared to front load, but better contribute to the creation of appealing open spaces, framed streetscapes and pedestrian and vehicular circulation.

e. 40' minimum lot width for single family detached homes. Justification: Reduction of the lot width consolidates the development footprint allowing for increased public open space and pedestrian connectivity. It also allows for an increased diversity of housing types which provides greater economic access to the development and enhances the character of the neighborhood.

f. 4,000 sf minimum lot size for single family detached homes. Justification: Reduction of the lot width consolidates the development footprint allowing for

CHAR22320612-10

set forth in the TIS based on increased levels of residential and/or commercial development upon supplements to the TIS that analyze each such phase and associated improvements that are reviewed and approved by the City and NCDOT in accordance with customary standards, and upon such approval Petitioner may implement the applicable development associated with the approved phasing.

Furthermore, if the uses and associated levels of development allowed by the Rezoning Plan are increased above those corresponding uses and levels of development set forth in the TIS, those adjustments shall be subject to review by the City and NCDOT, if applicable, to determine if the TIS should be revised.

ii. [Intentionally Deleted]

iii. Right-of-way Availability. If any roadway improvements set forth in the TIS cannot be constructed due to lack of right of way or inability of Petitioner to obtain right of way or any such improvements are altered from what is set forth in the TIS for any other reason, the TIS and subsequent development plans will be revised and reviewed by the City and/or NCDOT, as applicable, for approval in accordance with published standards, such approval not to be unreasonably withheld or delayed.

iv. Alternative Improvements; Mitigation in Lieu. Changes to the above referenced roadway improvements can be approved through the permitting process upon the determination and mutual agreement of Petitioner and the City and/or NCDOT, as applicable, provided, however, such adjustments may require a revised TIS approved by the City and/or NCDOT, as applicable, to demonstrate, among other requirements of the City and/or NCDOT, as applicable, the proposed alternate transportation improvements provide (in the aggregate) comparable transportation network benefits to the improvements identified in this TIS in the overall area of the rezoning.

In addition to the foregoing, in the event the right of way is not available for any reason after the good faith efforts of the Petitioner, the Petitioner may work with the City and/or NCDOT, as applicable, including review by the City and/or NCDOT, as applicable, of a revised TIS for approval in accordance with customary standards in order to identify alternative improvements to implement traffic mitigation in lieu of the improvements impacted by the lack of right of way as described above.

c. Street Network. The overall street network may be adjusted during the permitting process so long as the provisions of the Ordinance related to connectivity, block lengths and links are adhered to. Furthermore, the technical review of the horizontal and vertical design of the street network will be performed during the preliminary plan and/or site plan approval process and that review may result in minor or significant changes to the conceptual lay-out generally depicted on the Rezoning Plan in order to meet the published technical standards, and any changes in the street network throughout any stage will be subject to technical review in accordance with published standards prior to approval.

4. Design Intent Statement:

CHAR22320612-10

increased public open space and pedestrian connectivity. It also allows for an increased diversity of housing types which provides greater economic access to the development and enhances the character of the neighborhood.

g. 6' corner lot side yard for townhomes. Justification: Reduction of the side yards consolidates the development footprint allowing for increased public open space and pedestrian connectivity.

h. Requested waiver of 25' PUD buffer where proposed public street abuts parcels 4680345594 and 4680347515. Justification: The alignment of the street allows for consistent pedestrian and vehicular connectivity, builds on the street grid and allows the noted parcels to connect to a public street without creating a spite strip condition.

i. Front setback on rear load townhomes shall be 8' from ROW. Justification: The reduced front setback allows for the rear load townhomes to front on the public street, creating and framing a unique pedestrian friendly public realm.

CHAR22320612-10

a. Walkable Community. The Petitioner proposes to develop a walkable residential community where the residents of the community will have convenient and easy access to a series of passive and active open spaces that are interconnected by a network of streets, sidewalks, and trails. Enhanced decorative crosswalks shall be provided.

b. Planned/Unified Development. The Rezoning Site and each Development Area and parcel created therein shall be viewed as a planned/unified development plan as to the Development/Site Elements as may be generally depicted on the Rezoning Plan and shall be viewed as a planned/unified development in accordance with applicable provisions of Ordinance.

5. Lot and Architectural Design Standards:

a. Single family detached units shall adhere to the following standards: i. The minimum lot size shall be 4,000 square feet with a minimum lot width of forty (40) feet.

b. Single family attached residential units shall adhere to the following standards which as applicable shall be deviations from applicable standards of the Ordinance:

i. To provide privacy, all residential entrances within 15 feet of the sidewalk must be raised from the average sidewalk grade a minimum of 12 inches.

ii. Porches and/or stoops shall form a predominant feature of the building design and be located on the front and/or side of the building. When provided, front porches should wrap a portion of the front and side of the unit or provide blank wall provisions that limit the maximum blank wall exposure to 10 feet on all building levels.

iii. All corner/end units that face a public or private street should have a porch or stoop that wraps a portion of the front and side of the unit or provide blank wall provisions that limit the maximum blank wall exposure to 10 feet on all building levels.

iv. Garage doors visible from public streets should minimize the visual impact by providing a setback of 12 to 24 inches from the front wall plane or by adding additional architectural treatments such as translucent windows or projecting elements over the garage door opening.

v. Rear loaded townhomes shall have lead walks that connect to the sidewalk along public and/or private streets. Front loaded townhomes shall have lead walks that connect to public and/or private streets; or provide a lead walk that connects to the driveway.

vi. Townhouse buildings fronting public or private network required streets should be limited to 7 individual units or fewer. The number of individual units per building should be varied in adjacent buildings if multiple seven unit buildings are adjacent.

c. The following minimum standards are allowed for the development of this Site as deviations from applicable standards of the Ordinance; other modified standards may be requested during the final design of the project as provided in the (PUD) Ordinance:

- i. The minimum driveway width shall be ten (10) feet.
ii. The minimum side yard for exterior townhome units shall be six (6) feet with a minimum twelve (12) foot building separation.

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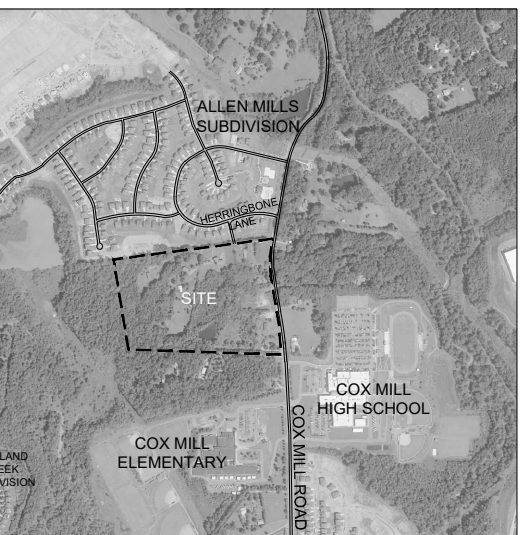
CLIENT / OWNER

AVA GLOBAL, LLC
407 SUTRO FOREST DR NW
CONCORD, NORTH CAROLINA, 28027
704.488.3290

LAND USE ATTORNEY

MOOREAVANALLEN
100 NORTH TRYON STREET SUITE 4700
CHARLOTTE, NORTH CAROLINA 28202
704.331.1000

VICINITY MAP



PROJECT

REZONING +ANNEXATION PLAN
COX MILL ROAD
CONCORD, NORTH CAROLINA
PROJECT NUMBER
18016
DATE
02.08.2021
ISSUED FOR

REVISIONS

Table with 4 columns: NO., DATE, DESCRIPTION, BY. Contains 5 revision entries.

PROJ. MANAGER: C.M.
DRAWN BY: T.W + P.K.
CHECKED BY: C.M.

SCALE

AS INDICATED

DRAWING

DEVELOPMENT STANDARDS

RZ-4

ARCHITECTURE PRECEDENT:



Park View Commercial View 1
04/29/2021

REDLINE DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN



Park View Commercial View 2
04/29/2021

REDLINE DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN



Park View Commercial Aerial View
04/29/2021

REDLINE DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN



Park View Commercial View 3
04/29/2021

REDLINE DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN



Park View Commercial View 4
04/29/2021

REDLINE DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN



Park View Commercial Material Palette
04/29/2021

- BOARD & BATTEN
VERTICAL SIDING
ARCTIC WHITE (HARDIE BOARD)
- EXTERIOR INSULATED FINISH
SYSTEM (EIFS)
AGARELLO WHITE
- BRICK MASONRY
ALAMO (MERRIDALE BRICK)
- PHENOLIC WOOD PANEL
METROPOLITAN WALNUT
(STONEMOOD)
- ALUMINUM STOREFRONT &
SLIC METALS
EXTRA-DARK BRONZE
- PRECAST CONCRETE

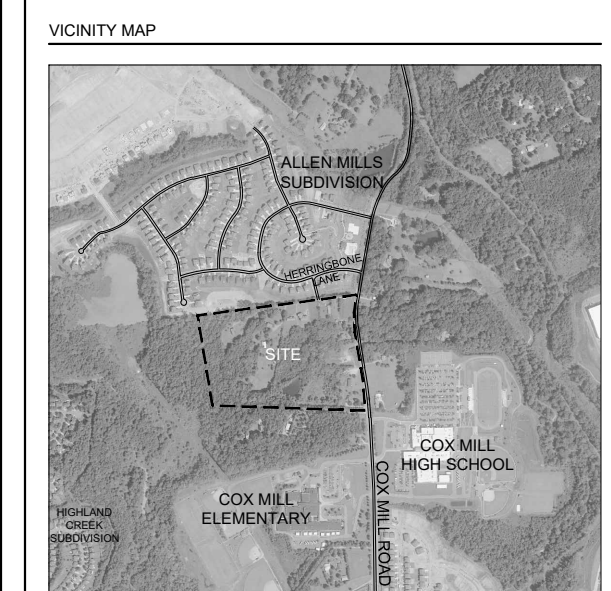


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REDLINE DESIGN
1023 W MOREHEAD ST #202
CHARLOTTE, NC 28208
704.377.2990



PARK PLACE AT COX MILL

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
18016

DATE
02.08.2021

REZONING + ANNEXATION PLAN

NO.	DATE	DESCRIPTION	BY
1	04/07/21	SECOND SUBMISSION	CM + TW
2	05/06/21	THIRD SUBMISSION	CM + PK
3	05/26/21	FOURTH SUBMISSION	CM + PK
4	06/08/21	FIFTH SUBMISSION	CM + PK
5	06/09/21	SIXTH SUBMISSION	CM

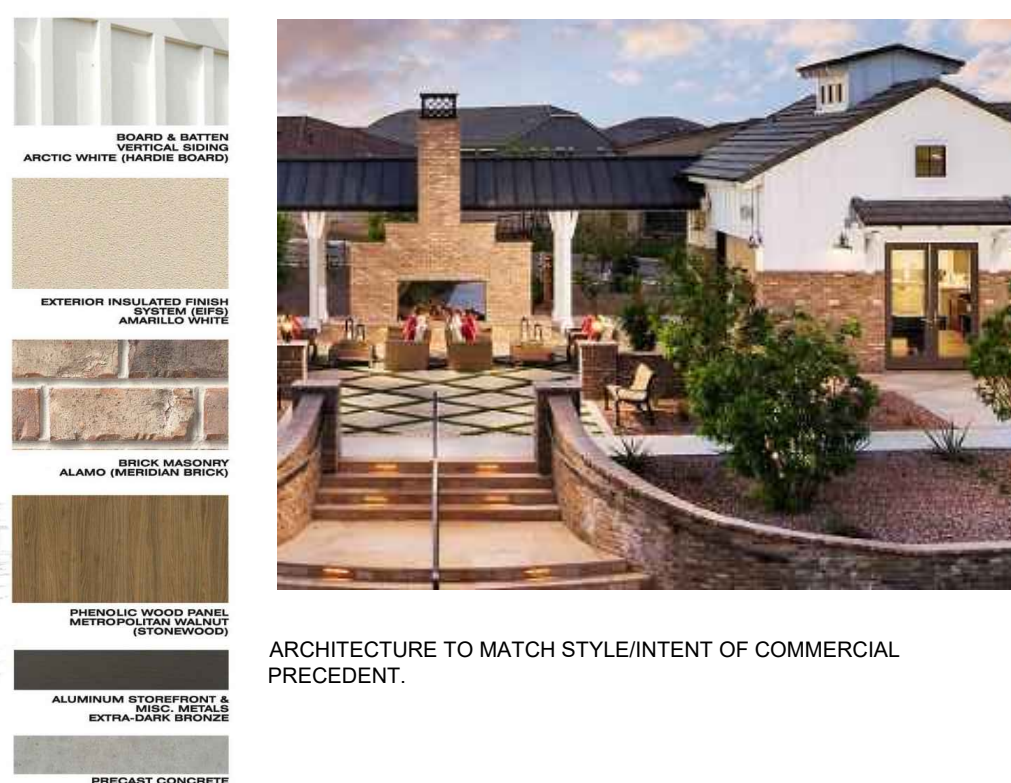
PROJ. MANAGER: C.M.
DRAWN BY: T.W. + P.K.
CHECKED BY: C.M.

SCALE
AS INDICATED

DRAWING
ARCHITECTURAL CHARACTER

RZ-5

1A OFFICE / COMMERCIAL
CONCEPTUAL ELEVATION



ARCHITECTURE TO MATCH STYLE/INTENT OF COMMERCIAL PRECEDENT.



- BEIGE WINDOW FRAMES, MULLIONS
- STANDARD GREY MODULAR BRICK
- GREY CMU
- 2 COLORS OF CEMENTIOUS EXTERIOR (HARDIE) BOARD, BOARD & BATTEN, AND CLAPBOARD SIDING
- GUNMETAL GREY POWDER COATED ALUMINUM HANDRAILS AT BALCONIES
- ALUMINUM GUTTERS/DOWNSPOUTS
- METAL TRIM/COPING TO MATCH GUTTERS/DOWNSPOUTS
- CHARCOAL 20 YEAR ASPHALT SHINGLES

2 SINGLE FAMILY HOME EXTERIOR MATERIALS
CONCEPTUAL ELEVATION



- BRICK/STONE
- VINYL SIDING
- CEMENTIOUS EXTERIOR (HARDIE) BOARD SIDING
- BOARD AND BATTEN

3 TOWNHOMES (SINGLE FAMILY ATTACHED) EXTERIOR MATERIALS
CONCEPTUAL ELEVATION



1B CLUB/AMENITY
CONCEPTUAL ELEVATION

Plotfile: 18016-RZ1.dwg / 6/9/2021 5:56 PM



1 CONCEPTUAL OPEN SPACE PLAN
PLAN

OPEN SPACE TABS:

Open Space	Total (sf)	Environmentally Sensitive Area (sf)	Active Open Space (sf)	Program Elements
1	165,884	90,175	75,709	Bench seating, walking trails, active lawn
2	2,717	0	2,717	Bench seating, overlook to soils conservation property
3	7,837	0	7,837	Bench seating, open lawn
4	21,423	500	20,923	Potential amenity bldg, bench seating, walking trails, active lawn
5	18,253	0	18,253	Lawn, enhanced landscape, bench seating
6	13,218	0	0	Lawn and bench seating
7	12,534	0	12,534	Active lawn, bench seating, enhanced landscape
8	15,722	0	0	Active lawn, trail, bench seating
9	18,900	0	18,900	Hardscape, outdoor seating, benches, lighting
10	5,818	0	5,818	Hardscape, outdoor seating, benches, lighting
11	23,075	0	0	Active lawn, trail, bench seating
Total Site Area			1,221,188 sf	
Total Open Space Provided			305,381 sf (25.2%) Provided	
Total Upland Open Space			214,706 sf (95.7% of provided open space)	
Total Active Open Space			162,691 sf (53.8% of provided open space)	

CHARACTER IMAGERY:



DECORATIVE CROSSWALKS:



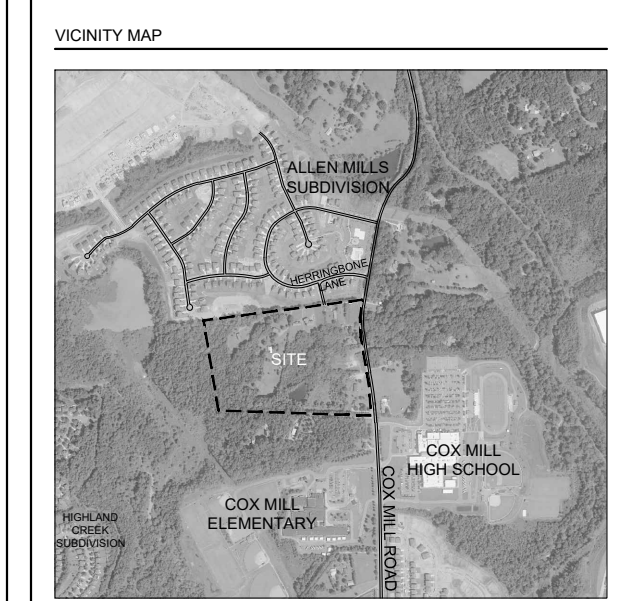
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LAND USE ATTORNEY
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CHARLOTTE, NORTH CAROLINA 28202
704.331.1000



PARK PLACE AT COX MILL

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
18016

DATE
02.08.2021

REZONING + ANNEXATION PLAN

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3	05/26/21	FOURTH SUBMISSION	CM + PK
4	06/08/21	FIFTH SUBMISSION	CM + PK
5	06/09/21	SIXTH SUBMISSION	CM

PROJ. MANAGER: C.M.
DRAWN BY: T.W. + P.K.
CHECKED BY: C.M.

SCALE

SCALE
AS INDICATED

DRAWING
OPEN SPACE PLAN

RZ-6

Plotfile: 18016-RZ1.dwg / 6/9/2021 5:56 PM



TREE SAVE + TREE REPLANTING TABS:

TREE SAVE REQUIRED:	50% OF REQ. OPEN SPACE (305,297 SF x 0.5 = 152,649 SF)
TREE SAVE AREA #1:	19,399 SF
TREE SAVE AREA #2:	23,269 SF
TREE SAVE AREA #3:	31,206 SF
TREE SAVE AREA #4:	42,533 SF
TREE REPLANTING AREA A:	16,277 SF
TREE REPLANTING AREA B:	21,659 SF

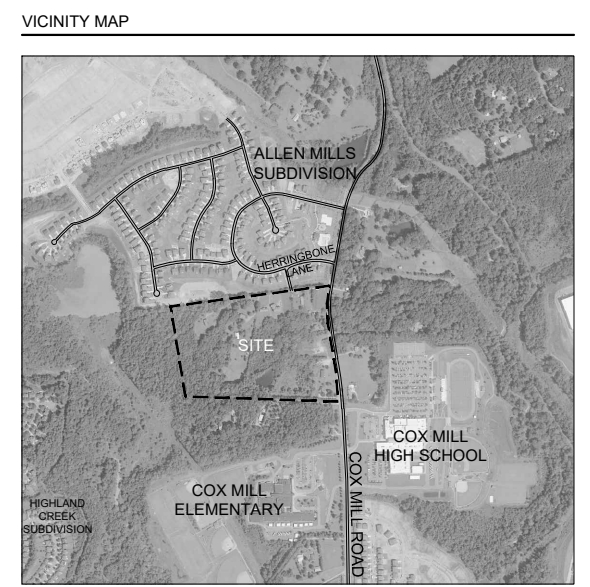
TOTAL TREE SAVE + TREE REPLANTING PROVIDED: 154,343 SF (76.3% REQ. MET BY TREE SAVE)



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CHARLOTTE, NORTH CAROLINA 28202
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PARK PLACE AT COX MILL

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
18016

DATE
02.08.2021

REZONING + ANNEXATION PLAN

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3	05/26/21	FOURTH SUBMISSION	CM + PK
4	06/08/21	FIFTH SUBMISSION	CM + PK
5	06/09/21	SIXTH SUBMISSION	CM

PROJ. MANAGER: C.M.
DRAWN BY: T.W. + P.K.
CHECKED BY: C.M.

SCALE

SCALE
AS INDICATED

DRAWING
TREE SAVE + TREE REPLANTING
PLAN

1 TREE SAVE + TREE REPLANTING PLAN

PLAN

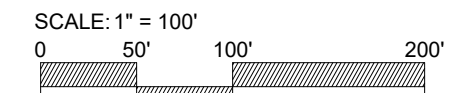
1" = 100'



2 EXISTING CANOPY AREA

PLAN

NTS



RZ-7

Residential: Single Family Detached

Sunview Subdivision (CN-PSA-2023-00013)

838 Sun View Dr. NW

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
5/22/2022(as multi-family)	Yes	72	No	No	Yes	Yes	Yes	No

Allocation Request

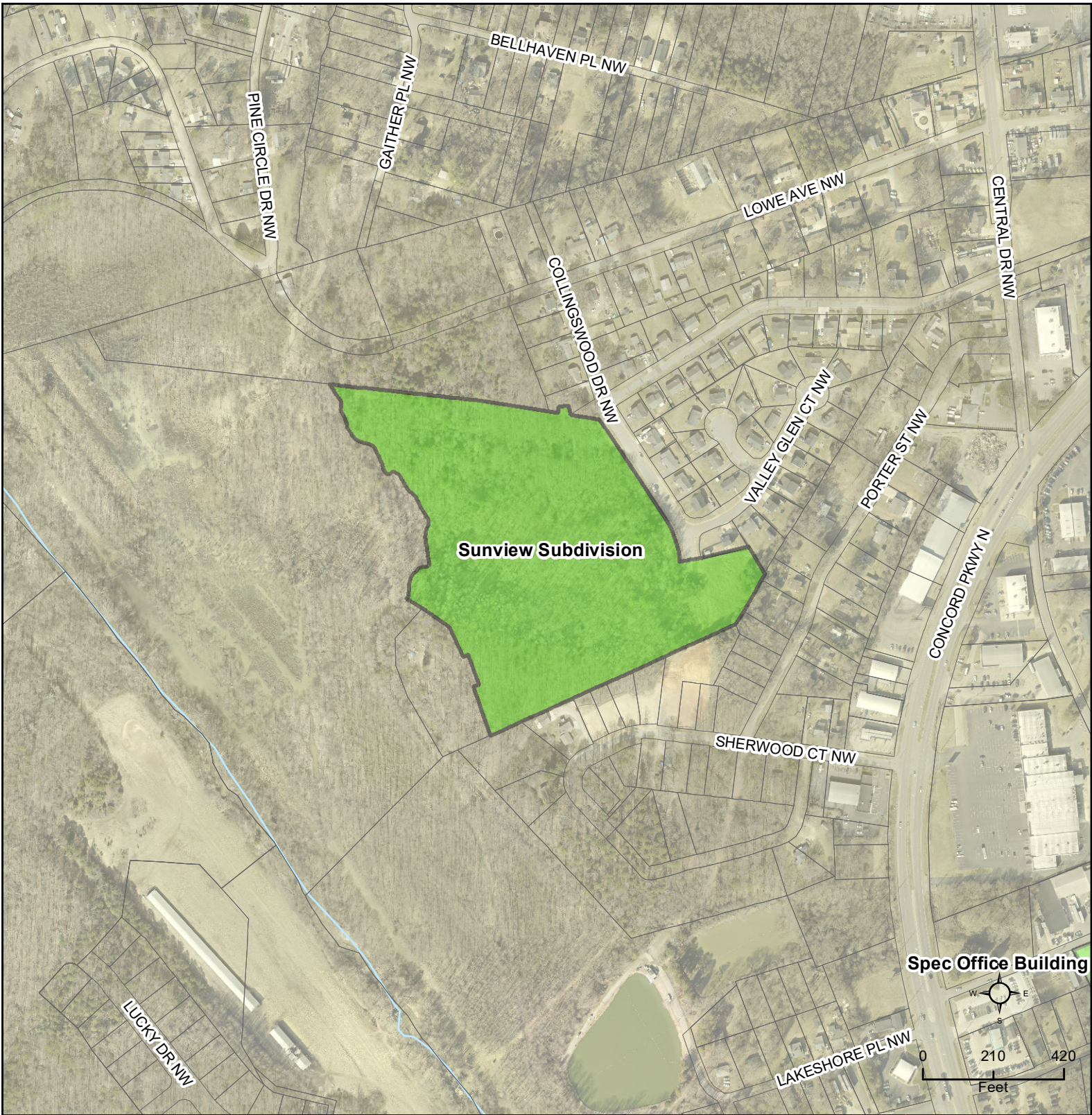
Total	2023	2024
23,040	16,000	7,040

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary

This is a project that has submitted as a townhome style multi-family project for sewer allocation in July 2022. A preliminary plat was approved for a townhome style subdivision on February 4, 2022, but payment of \$400 has not been received yet. The narrative now reflects the desire to restructure the project as 72 single family detached units that will be built in two phases.



CN-PSA-2023-00013
Sunview Subdivision






Type: Residential

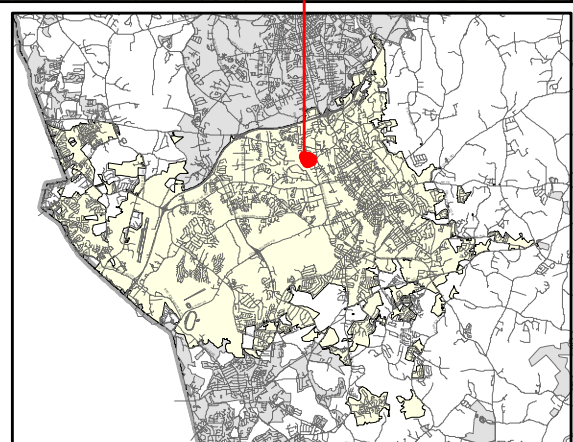
SF Detached

72 single family units

Allocation Request: 23,040

Project Score: 1

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Sunview Single Family Homes			
	2.)	Description of project location:	Site located at 838 Sunview Dr. NW, approximately 200 ft S of intersection of Collingswood Dr. and Sunview Dr. NW, and 1300 ft E of intersection of Collingswood Dr SW and Central Dr NW. <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)</small>			
	3.)	Cabarrus County Parcel Identification Number:	5611734751 & 5611740201	3a.)	Parcel Acreage:	47.94
	4.)	Site Zoning and use:	RC - Residential Homes	5.)	Area Commercial or Industrial Building	(sq. ft.)
	6a.)	Description of Facility to be served:	Residential Housing	6b.) Number of Lots	72	6c.) Number of Units
	7d.)	Additional description information:	Single Family Residential Homes			

B. Applicant Information	John Moran	Registered Agent	330 Patterson Drive
	<small>(Title)</small>		<small>(Applicant's Street or Box Number)</small>
	Sapphire Strait, LLC		Myrtle Beach, SC 29572
	<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>
	<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>
	<small>(Name)</small>	<small>(Email)</small>	<small>(Applicant's Email Address)</small>

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available	Kate Underwood, PhD, PE	Concord Engineering & Surveying, Inc.
	<small>(Typed name of North Carolina Professional Engineer)</small>	<small>(Company Name)</small>
	033470	P.O. Box 268
	<small>(NCPE Registration Number)</small>	<small>(Street or Box Number)</small>
	(704) 786-5404	Concord, NC 28026
	<small>(Phone Number)</small>	<small>(City, State, Zip Code)</small>

Kate Underwood, PhD, PE	kateunderwood@cesicgs.com
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>	<small>(Engineer's Email Address)</small>

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input checked="" type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 23,040 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

(Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Single Family Detached PH1	80 gal/ bedroom * 4 bedrooms	50	GPD 16,000
Single Family Detached PH2	80 gal/ bedroom * 4 bedrooms	22	GPD 7,040
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		72 Total	GPD 23,040

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, John Moran, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

[Signature] Signature: _____ Date: 11/18/2023



A DREAM FINDERS HOMES COMPANY 

201 McCullough Dr., Suite 160
Charlotte, NC 28262
980-267-3423 Office
704-817-2344 Fax
NC General Contractor #74158
SC General Contractor #G118119
HHhomes.com

SUNVIEW SINGLE FAMILY SUBDIVISION

Overview:

Saphire Straight LLC, an H&H Homes LLC, is the current owner of parcels # 56117347510000 & 56117402010000. The property was purchased in January of 2021 with the plan to develop approximately 141 For-Sale townhomes. Since that time, the project has progressed through preliminary plat design, review, and approval. Due to lack of sewer availability and the need for us to be salvage the invested capital we have reprogrammed our development to 72 single family detached homes. We are financially committed and stand ready to complete the final design and permitting of the project.

Location:

The site is nestled between the Irish Buffalo Creek and the long-established neighborhoods on Collingswood Dr. NW, Lowe Avenue NW, Sunview Drive NW, and Sherwood Court. Zemosa Acres sits to the west of the site on the west side of Irish Buffalo Creek. Further defined, Sunview is located approximately 200 ft south of intersection of Collingswood Drive and Sunview Drive NW in Concord NC. This is an infill development, with long established single family residential development on the north, west, and south boundaries, and large-lot single family residential on the western boundary past Irish Buffalo Creek.

Why Consider Sunview for Sewer Allocation Approval:

We understand that this project comes at a challenging time for the City of Concord. As an applicant, we are tremendously grateful for the City's integrity, fairness, and transparency as it addresses its sewer capacity and allocation issue. It is no small feat, and it is to be commended by all.

In a situation where the residential demand outstrips the availability of critical resources, we are all challenged to reassess our development plans to ensure they are in line with the common good of the City of Concord. As such, we believe we have modified our project to meet the needs of the city, to address current sewer availability and future capacity while tackling the ever-growing concern for the need of affordable and appealing housing that will make the City of Concord proud. In addition, we are confident this community will be central to the City of Concord and will serve to interconnect the existing road infrastructure by tying together the road network, sidewalks, and public utilities to better serve both the existing and future residents in this area. In our last steps to turn this plan into reality, we modified our proposed development to be a **Single Family Detached development**.

This development will provide a much needed affordable and desirable single family housing option for residents who would like the independence, space, and status of a single-family home design while remaining in the City of Concord. This alternative product type will undoubtedly satisfy a significant portion of the population while simultaneously being respectful of the available sewer for this type of development.

Zoning:

- RC

Acreage:

- 47.94

Community Phasing:

We propose to develop the site in two phases consistent with the City of Concord's amended sewer allocation policy. The two Phases of Development are as follows:

- Phase 1: 50 single family detached homes.
- Phase 2: 22 single family detached homes.

This phased approach to development meet both the City's allocation availability for single family detached development, and the required phasing of 50 units maximum per year as outlined in the City of Concord Sewer Allocation Policy. By phasing this development and focusing on single family units we believe that this project serves the community's needs for affordable housing and availability for sewer.

Allocation Requested:

- **2023: Phase 1 16,000 GPD**
- **2024: Phase 2 7,040 GPD**

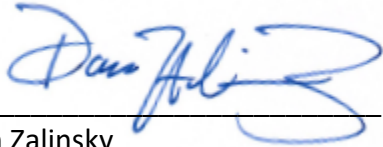
Community Summary:

This site was purchased by H&H Homes in 2021 with the honest desire to build in the heart of Concord. The site has proceeded through the preliminary plat process for a townhome development, however due to the limitations on townhome development based on sewer capacity we proposed to modify the site design to meet the needs of the community with a desirable and functional Single Family Detached product.

In today's ever-changing residential housing market, much of the available housing is not affordable to low and moderate-income households. Due to the rapid increase in home prices, working families housing costs amount to 30% or more of their incomes. It's these working families that are essential to the City of Concord's future. When factoring in projected population growth, the direct impact of insufficient housing supply will only put additional upward pressure on housing costs; thus, further

negatively impacting affordability. Sunview will help bridge this gap by providing new affordable and desirable housing options in an ideal in-fill location.

We truly appreciate the City Council's efforts in its fair consideration of all the proposals submitted to them and anxiously await a favorable outcome for all involved.



Dan Zalinsky
Division President – H&H Homes Charlotte

10/20/2022

Date

TAX PARCEL NUMBER: 5611-73-4751
 PARCEL SIZE: 53.526 ACRES
 EXISTING ZONING: RC
 PROPOSED ZONING: RC
 PROPOSED USES: SINGLE FAMILY RESIDENTIAL
 EXISTING IMPERVIOUS AREA: +/- 873 SF

EXISTING LOTS: 2
 PROPOSED LOTS: 72 SINGLE FAMILY RESIDENTIAL + COMMON AREAS

OPEN SPACE
 TOTAL OPEN SPACE REQUIRED: 10% = 0.10 * 53.526 = 5.353 ACRES
 TOTAL OPEN SPACE PROVIDED: +/- 40.0 ACRES (75%)
 PASSIVE OPEN SPACE: 35.733 AC
 ACTIVE OPEN SPACE: 0.974 AC

ZONING REQUIREMENTS:
 MAXIMUM DENSITY: 15 DWELLING UNITS/ACRE
 PROPOSED DENSITY: 1.37 DWELLING UNITS/ACRE
 MINIMUM LOT AREA: N/A
 MINIMUM LOT WIDTH: N/A
 MINIMUM LOT DEPTH: N/A
 MAXIMUM IMPERVIOUS AREA: 50% / 26.763 ACRES
 MAXIMUM BUILDING HEIGHT: 35'

IMPERVIOUS AREA CALCULATIONS: TBD

BUILDINGS:
 DRIVEWAYS:
 ROADS:
 SIDEWALKS:
 PATIOS:
 TOTAL:

MINIMUM SETBACKS REQUIRED AND PROVIDED:
 FRONT SETBACK: 24'
 SIDE SETBACK: 7'
 REAR SETBACK: 5'
 CORNER SETBACK: 20'

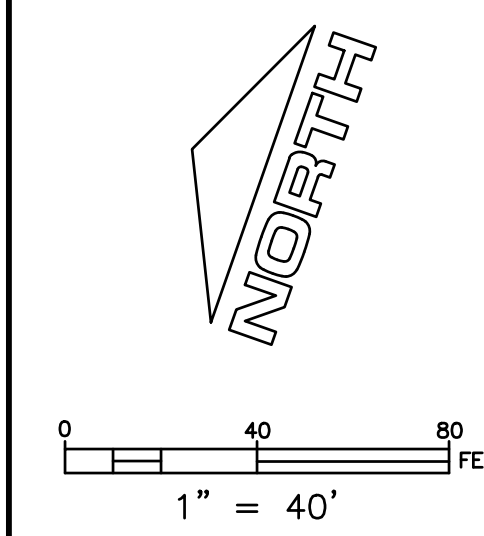
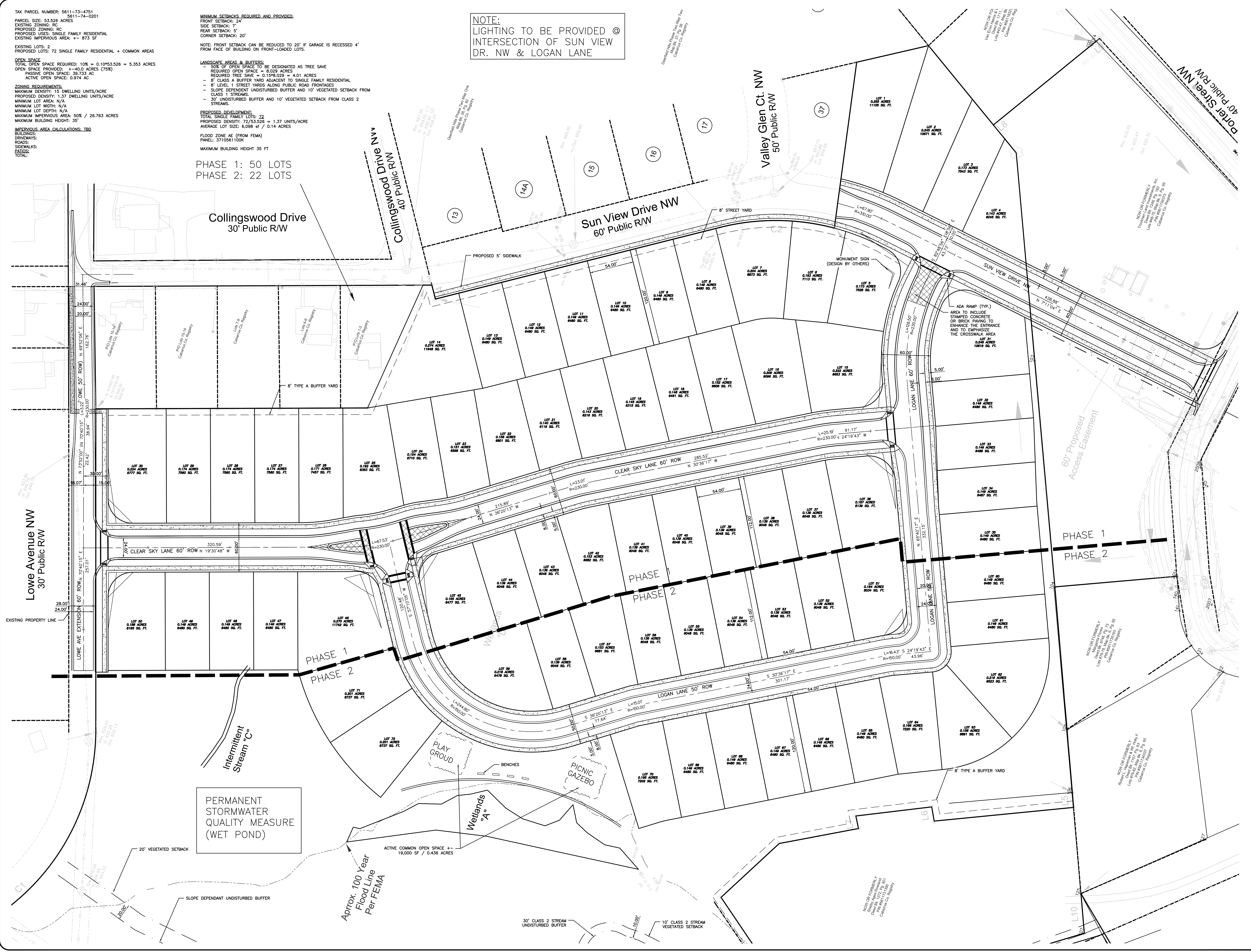
NOTE: FRONT SETBACK CAN BE REDUCED TO 20' IF GARAGE IS RECESSED 4' FROM FACE OF BUILDING ON FRONT-LOADED LOTS.

LANDSCAPE AREAS & BUFFERS:
 - 50% OF OPEN SPACE TO BE DESIGNATED AS TREE SAVE
 - REQUIRED OPEN SPACE = 5.029 ACRES
 - REQUIRED TREE SAVE = 0.194 ACRES = 4.01 ACRES
 - 8' CLASS A BUFFER YARD ADJACENT TO SINGLE FAMILY RESIDENTIAL
 - 8' LEVEL 1 STREET YARDS ALONG PUBLIC ROAD FRONTAGES
 - SLOPE DEPENDENT UNDISTURBED BUFFER AND 10' VEGETATED SETBACK FROM CLASS 1 STREAMS.
 - 30' UNDISTURBED BUFFER AND 10' VEGETATED SETBACK FROM CLASS 2 STREAMS.

PROPOSED DEVELOPMENT:
 TOTAL SINGLE FAMILY LOTS: 72
 PROPOSED DENSITY: 72/53.526 = 1.37 UNITS/ACRE
 AVERAGE LOT SIZE: 6,098 sf / 0.14 ACRES
 FLOOD ZONE AE (FROM FEMA)
 PANEL: 3710681100K
 MAXIMUM BUILDING HEIGHT 35 FT

NOTE:
 LIGHTING TO BE PROVIDED @
 INTERSECTION OF SUN VIEW
 DR. NW & LOGAN LANE

PHASE 1: 50 LOTS
 PHASE 2: 22 LOTS



North Carolina One-Call Center
 1-800-632-4949
 CALL BEFORE YOU DIG!
 "It's The Law"

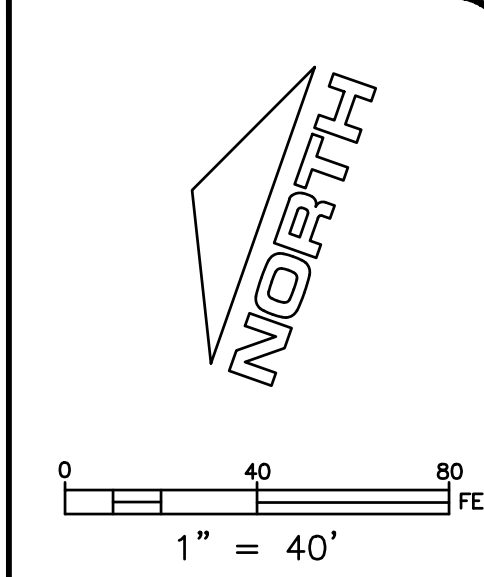
REVISION	DATE	DESCRIPTION

SUNVIEW SUBDIVISION
 SITE LAYOUT PLAN
 838 SUNVIEW DR. NW, CONCORD, NC 28027
 PROJECT MANAGER: SAPHIRE STRAIT LLC
 CESI PROJECT NO. 210615
 DRAWN BY: ANU
 CHECKED BY: NOB
 PROJECT START:

CESI CIVIL
 GEOTECHNICAL
 SURVEYING
 PO BOX 268
 CONCORD, NC 28026-0268
 P. 704.786.5404
 F. 704.786.7454
 www.cesigs.com
 NCBELS CORP. NO. C-0263
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 ENGINEERS SEAL

PRELIMINARY
 PLAN
 DO NOT USE
 FOR
 CONSTRUCTION

10/21/2022
 C200



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 24-hour service in
 CALL 1-800-632-4949
 CONSTRUCTION CONTRACTORS SHALL CONTACT
 ONE-CALL CENTER TO LOCATE ALL UTILITIES
 PRIOR TO ANY EXCAVATION OR
 OTHER DISTURBANCE OF THE GROUND.
 "It's The Law"

REVISION	DATE	DESCRIPTION

SUNVIEW SUBDIVISION
 GRADING AND DRAINAGE PLAN
 838 SUNVIEW DR. NW, CONCORD, NC 28027
 PROJECT MANAGER:
 SAPPHIRE STRAIT LLC
 APPROVED BY: [Signature]
 PROJECT START:
 CHECKED BY: NOB

CESI CIVIL
 GEOTECHNICAL
 SURVEYING
 PO BOX 268
 CONCORD, NC 28026-0268
 P. 704.786.5404
 F. 704.786.7454
 www.cesigs.com
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ENGINEERS SEAL
PRELIMINARY PLAN
DO NOT USE FOR CONSTRUCTION

10/21/2022
C300 SFR

THE CARDINAL

4 BEDROOM

2.5 BATH

2 CAR GARAGE

2,235 SQ. FT. LIVING AREA



ELEVATION A



ELEVATION B



ELEVATION C

REV. 11/16/18



DREAM FINDERS HOMES

HOMES BUILT TO FIT YOUR LIFESTYLE

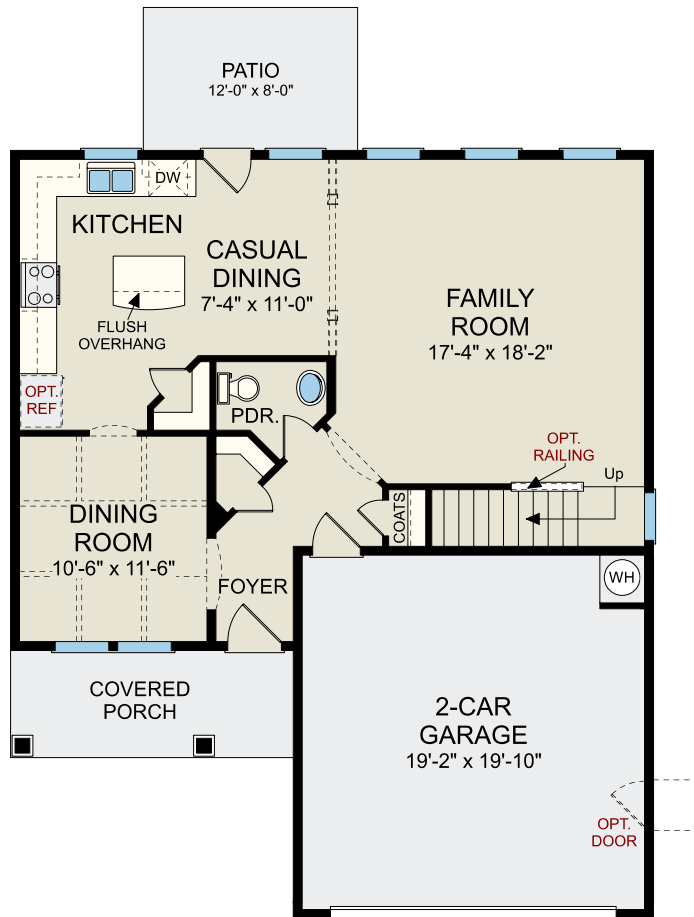
DREAMFINDERSHOMES.COM

Site maps, floor plans and elevations are artist's rendering only and are subject to change without notice. Dimensions, plans and specifications are not to scale. Contact your new home sales associate for more details. Dream Finders Homes CBC1252734



THE CARDINAL

4 BEDROOM | 2.5 BATH | 2 CAR GARAGE | 2,235 SQ. FT. LIVING AREA



First Floor

REV. 11/16/18



DREAM FINDERS HOMES
HOMES BUILT TO FIT YOUR LIFESTYLE

DREAMFINDERSHOMES.COM

Site maps, floor plans and elevations are artist's rendering only and are subject to change without notice. Dimensions, plans and specifications are not to scale. Contact your new home sales associate for more details. Dream Finders Homes CBC1252734



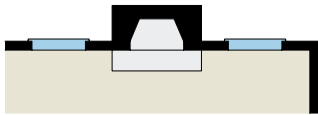
THE CARDINAL

4 BEDROOM

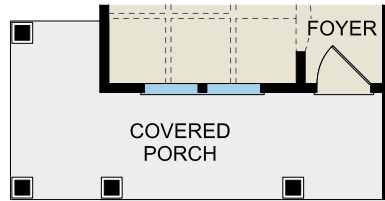
2.5 BATH

2 CAR GARAGE

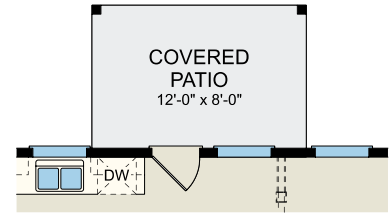
2,235 SQ. FT. LIVING AREA



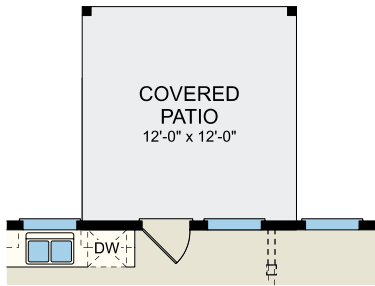
Optional Fireplace
at Family Room



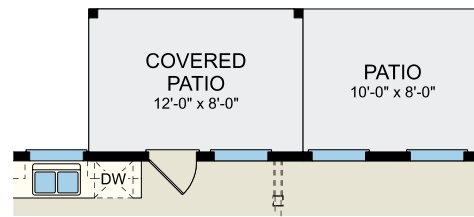
Optional
Wrap-Around Porch



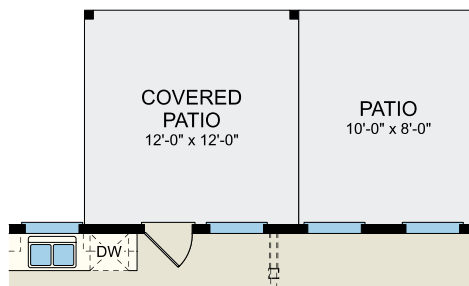
Optional
Covered Patio



Optional
Extended Covered Patio



Optional
Patio w/ Covered Patio



Optional
Extended Patio
w/ Extended Covered Patio

First Floor Options

REV. 11/16/18



DREAM FINDERS HOMES

HOMES BUILT TO FIT YOUR LIFESTYLE

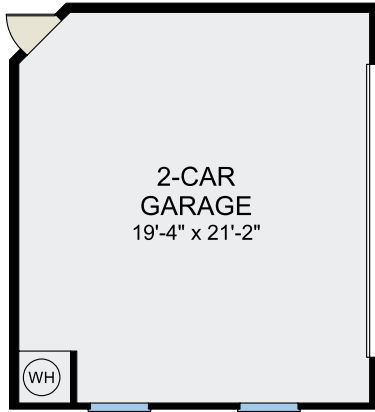
DREAMFINDERSHOMES.COM

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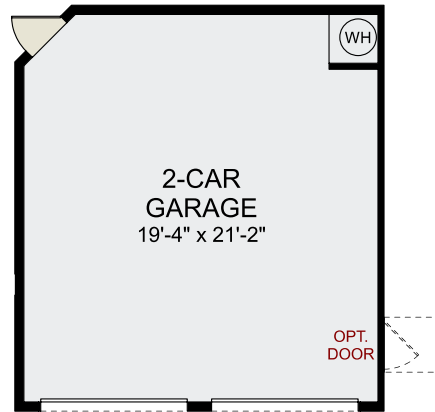


THE CARDINAL

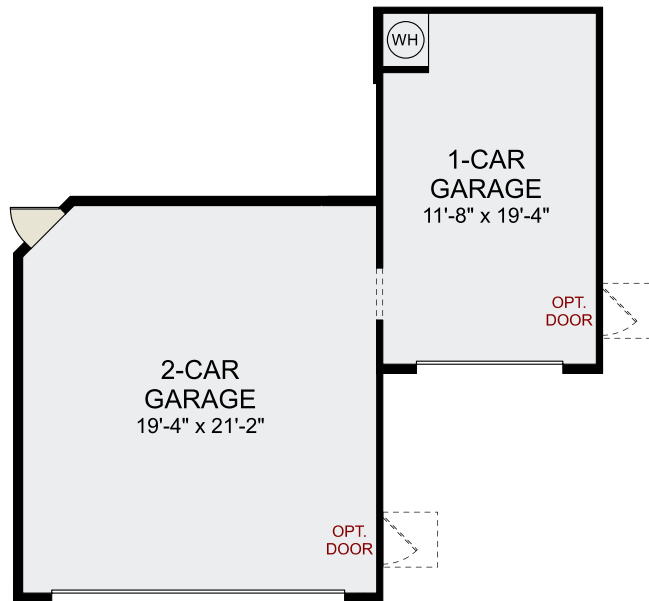
4 BEDROOM | 2.5 BATH | 2 CAR GARAGE | 2,235 SQ. FT. LIVING AREA



Optional
Side Load Garage



Optional
Double Garage Door



Optional
1-Car Garage

First Floor Options (cont.)

REV. 11/16/18



DREAM FINDERS HOMES

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DREAMFINDERSHOMES.COM

Site maps, floor plans and elevations are artist's rendering only and are subject to change without notice. Dimensions, plans and specifications are not to scale. Contact your new home sales associate for more details. Dream Finders Homes CBC1252734



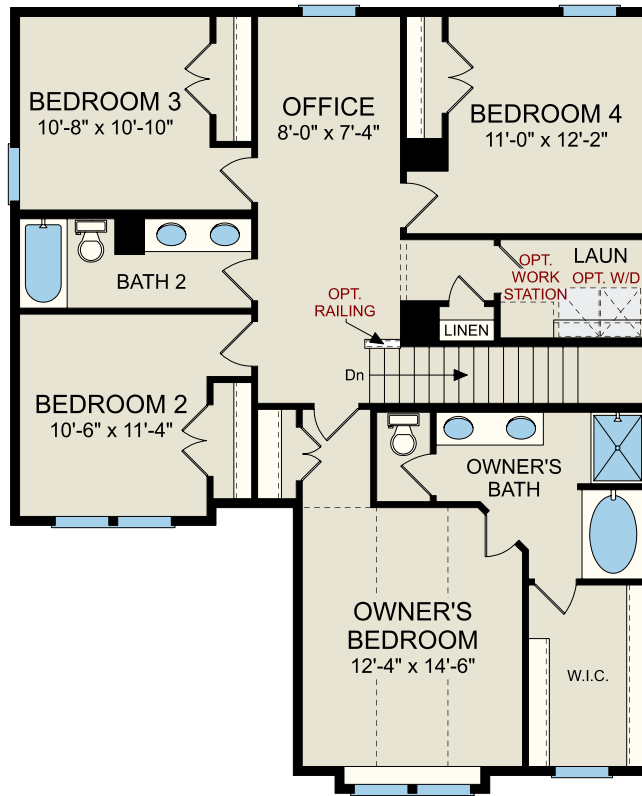
THE CARDINAL

4 BEDROOM

2.5 BATH

2 CAR GARAGE

2,235 SQ. FT. LIVING AREA



Second Floor

REV. 11/16/18



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Residential: Single Family Detached

Royscroft (CN-PSA-2023-00018/PRS2020-02472)

7000 Flowes Store Rd.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Technically Approved
8/19/2019	Yes	50	Yes (PRS2020-02472)	Yes	Yes	Yes	No

Allocation Request

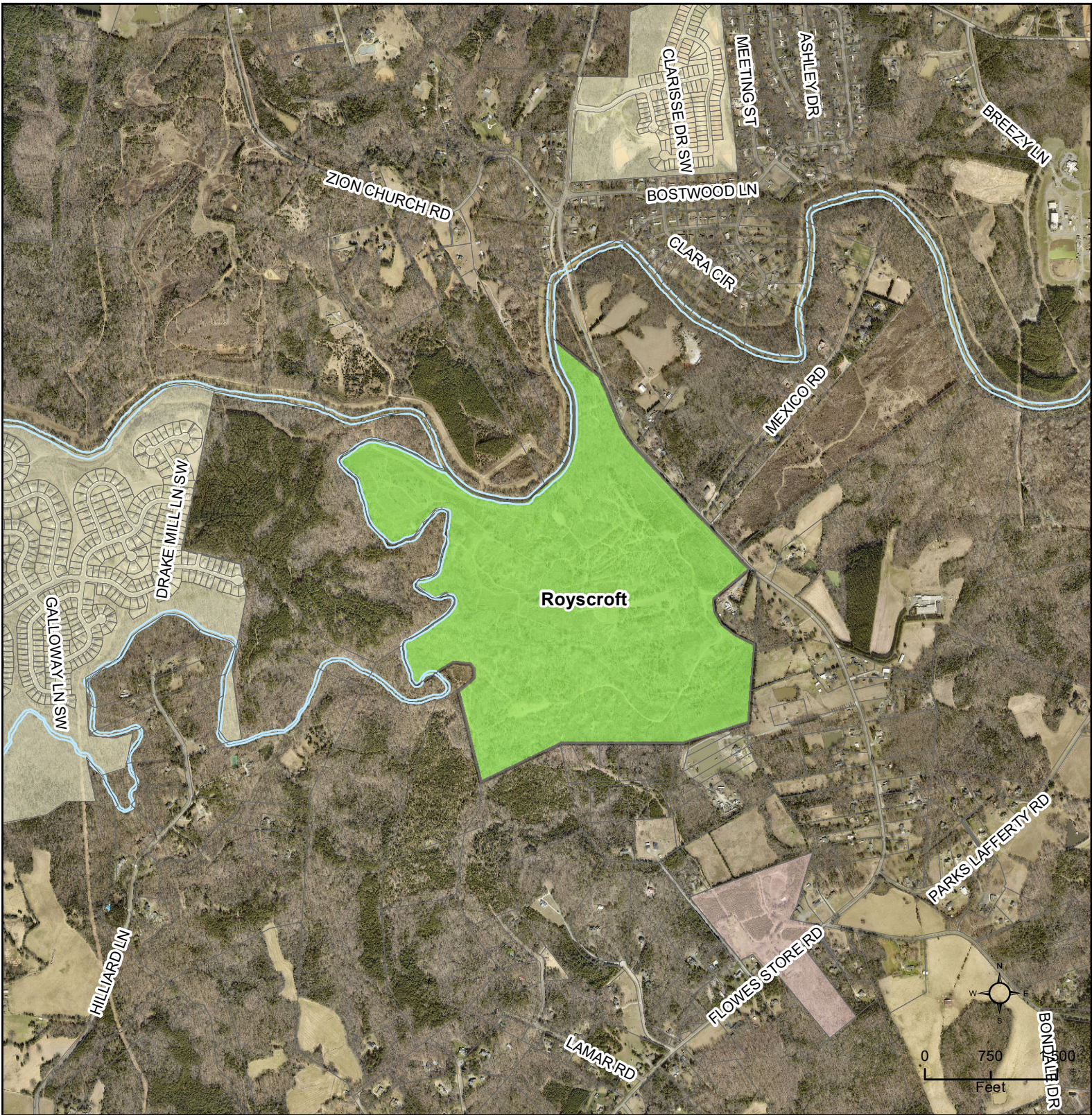
Total	2023
16,000	16,000

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary

This case is for 50 units: a reduction from the 368 units requested at the July 2022 allocation and from the 371 requested at the March 2022 allocation meeting. The preliminary plat was approved on 9/20/20. Zoning case Z(CD)07-16 was approved on June 21, 2016. This rezoning to Planned Residential Development required a mixture of unit types: 55', 75', and 90' wide lots. Planning did approve an administrative amendment. The developer has identified a fire station location. A condition of the zoning is also that the site will provide a kayak/canoe launch. The applicant has provided a phasing plan for the project, which would result in 50 lots in the first phase, with the assumption that they would come back and ask for their project in phases. The developer has continued submitting revisions to their plans since the March allocation and has gone from 24 to 2 open issues on the last review cycle, with some adjustments to the water and sewer applications answered in preparation for the next review cycle. The system has been waiting for a resubmittal since 8/25/2022. The applicant is working with "WeBuild Concord" to offer 10% of the home sites as Affordable Dwelling Units.



CN-PSA-2023-00018

Royscroft

Type: Residential

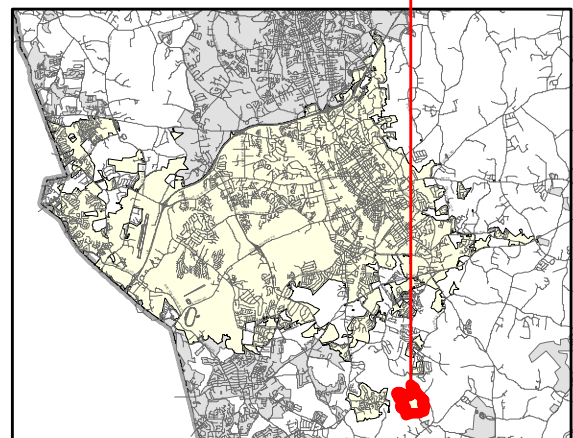
SF Detached

50 single family units

Allocation Request: 16,000

Project Score: 1

- Developments
- Parcels
- Rivers
- Concord
- Cabarrus County
- Other Municipalities





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Royscroft Subdivision			
	2.)	Description of project location:	1000 feet Southwest of the intersection of Flowes Store Road (SR1132) and Mexico Road <small>(Example: Site located on (Road name) SR ###, approx ### linear feet (North, South, West or East) of the intersection of Road name (SR ###) and Road Name (SR ###))</small>			
	3.)	Cabarrus County Parcel Identification Number:	55374395335537423527	3a.)	Parcel Acreage:	262.42
	4.)	Site Zoning and use:	PRD - Residential Subdivision	5.)	Area Commercial or Industrial Building (sq. ft.)	0
	6a.)	Description of Facility to be served:	Single Family Homes	6b.) Number of Lots	50	6c.) Number of Units
	7d.)	Additional description information:	Phase I - 50 Single Family dwellings			
	B. Applicant Information	Ron Willing		Senior Land Development Manager		(Title)
Stanley Martin Homes		820 Forest Point Circle; Suite 100				
704-808-1132		Charlotte, NC 28273				
Ron Willing		willingre@stanleymartin.com		willingre@stanleymartin.com		
704-808-1132		willingre@stanleymartin.com				
Ron Willing		willingre@stanleymartin.com		willingre@stanleymartin.com		
C. Design Engineer Information if available	Tracey McCormick		McKim & Creed			
	041683		8020 Tower Point Drive			
	704-841-2588		Charlotte, NC 28227			
	Tracey McCormick		tmccormick@mckimcreed.com			
	704-841-2588		tmccormick@mckimcreed.com			
	Tracey McCormick		tmccormick@mckimcreed.com			

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input checked="" type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 16,000 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses, public access facilities located near high public use areas, as defined in G.S. 42A-4).

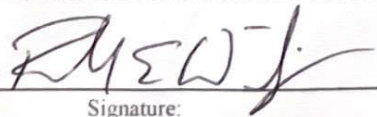
b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.
 (Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Single Family Residential	320 gal/ day	50	GPD 16,000
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 16,000

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Ron Willing, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.



Signature: _____ Date: 1/19/2023

STANLEY  MARTIN
Your Life is Our Blueprint™

January 19, 2023

Dear City of Concord Council,

This letter is to serve as a narrative in support of sewer allocation for the Royscroft Subdivision located on the west side of Flowes Store Road near the intersection of Mexico Road in the City of Concord, NC. Royscroft consists of a total of 368 single family residential lots with three different lot widths. The homes will range from 1,295 to 3,596 sf with sales prices starting around \$260,000 and reaching into the low \$500,000s.

Our front entrance will be enhanced with upgraded landscaping and community monuments at each entrance. Royscroft will include a centrally located Amenity Center, where residents will enjoy a club house, competition size swimming pool, playground, and access to the Greenway with scenic views along the Rocky River and Reedy Creek tributaries. This Greenway will be a major feature for residents to enjoy peaceful walks along the river. In addition, there are numerous active and passive common areas, including several undisturbed environmentally sensitive areas. Over 53% of the property will remain as open space, both active open space and undisturbed open space.

- Project Name: Royscroft
- Rezone Approved by City of Concord: June 2016
- Current Zoning: PRD
- Initial Submittal of Preliminary Plat: February 2020
- Preliminary Plat Approval: September 2, 2020
- Initial Submittal of Construction Documents: August 18, 2020
- Sewer Application Submitted: January 6, 2021
- Received the Early Grading Permit and had the preconstruction meeting: November 30, 2021

We plan to phase Royscroft as shown below:

	Phase 1	Phase 2	Phase 3	Phase 4	Phase 5	Phase 6	Phase 7	Phase 8
Lots	50	50	49 plus the amenity	50	50	49	49	21
Plat Recordation	June 2023	May 2024	April 2025	March 2026	February 2027	January 2028	December 2028	November 2029
Intial House Closing	December 2023	November 2024	October 2025	September 2026	August 2027	July 2028	June 2029	May 2030
Total GPD	16,000	16,000	16,000	16,000	16,000	15,680	15,680	6,720

We have purchased all the required easements to install approximately 6,000 linear feet of new water main along Flowes Store Road that will improve water pressure and flow along this route while extending the water main for future residents. In addition, at the intersection of Flowe Store Road and Hwy 601, we will be installing a new left

STANLEY MARTIN

— *Your Life is Our Blueprint™* —

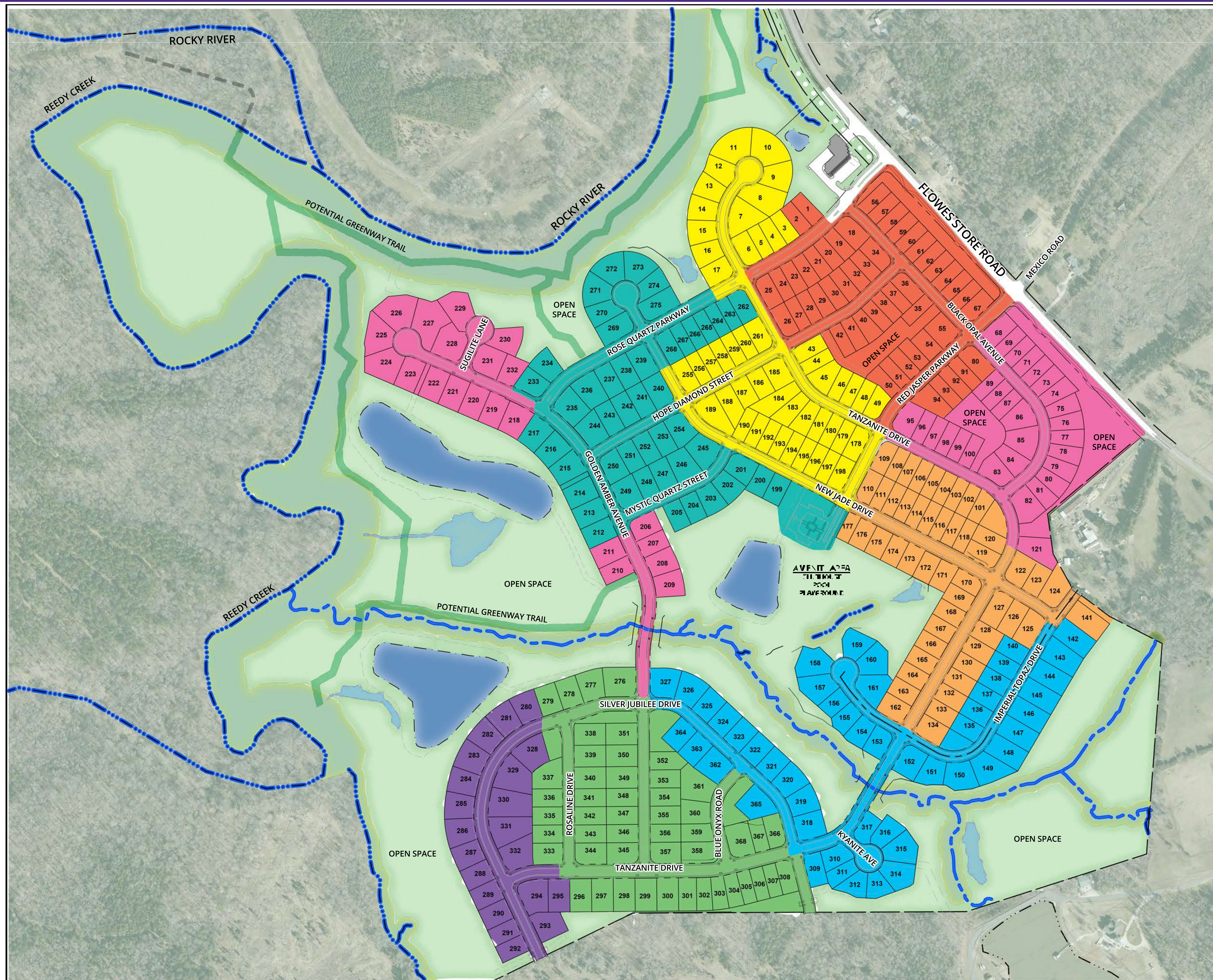
turn lane on Flowes Store Rd to ease traffic that will include updating the signalization, performing shoulder improvements, and refreshing the asphalt overlay.

Stanley Martin Homes also removed 3 lots from the approved Royscroft site plan and is dedicating an outparcel for the future Fire Department Facility/Station and its associated parking lot. The future Fire Department will be located at the front of the neighborhood and behind our enhanced buffered landscaping. We will rough grade the outparcel, as well.

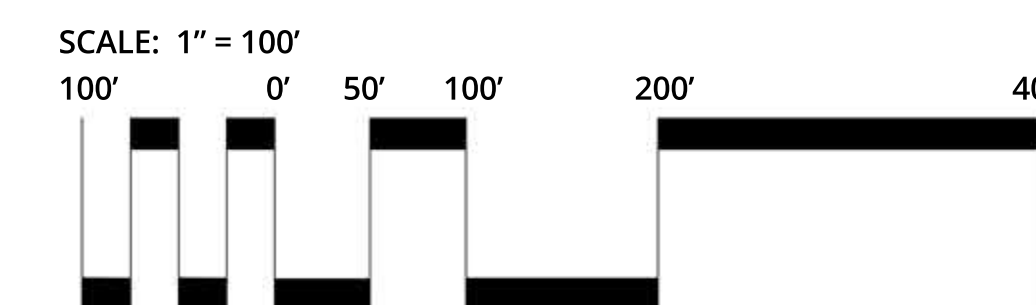
We hope this letter speaks to our need and believe this community will be a great addition to the Concord community.

Sincerely,

Ron Willing
Senior Land Development Manager
STANLEY MARTIN HOMES



- PHASE 1 = 50 LOTS
- PHASE 2 = 50 LOTS
- PHASE 3 = 50 LOTS
- PHASE 4 = 50 LOTS
- PHASE 5 = 50 LOTS
- PHASE 6 = 49 LOTS
- PHASE 7 = 49 LOTS
- PHASE 8 = 21 LOTS



Residential: Single Family Attached (Townhomes)

Poplar Mills (Park Place) (CN-PSA-2022-00164)

1200 Cox Mill Road

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
7/2/2020	Yes	141	No	No	Yes	No	Yes	No

Allocation Request

Total	2023	2024	2025
34,320	12,000	12,000	10,340

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	1	0	0	0	1

Brief Summary

The applicant is seeking sewer allocation for 141 single family attached residential units at 1200 Cox Mill Rd. NW. This site was heard and approved for rezoning on June 15, 2021. This is part of a larger mixed use project with 24 units of single family detached and 31,250 square foot of commercial space including restaurant, retail, and daycare: the total square footage permissible by zoning is less than what is being requested in the non-residential sewer application. This site is adjacent to the Jim Ramseur Park. The applicant has a preliminary plat in the system for review and is record number CN-PLP-2022-00006.



CN-PSA-2022-00164

Poplar Mills Townhomes






Type: Residential

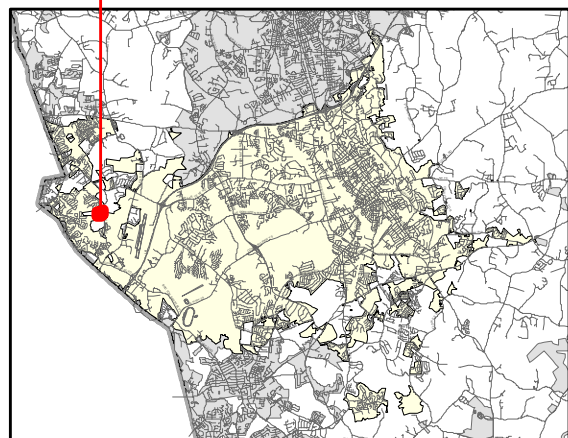
SF Attached

141 townhome units

Allocation Request: 34,340

Project Score: 1

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Poplar Mills			
	2.)	Description of project location:	LOCATED ON COX MILL RD (SR-1448), APPROX 3500 LF SOUTH OF THE INTERSECTION OF POPLAR TENT RD (SR-1394) AND COX MILL RD (SR-1448) <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>			
	3.)	Cabarrus County Parcel Identification Number:	468033-8708	3a.)	Parcel Acreage:	28.03
	4.)	Site Zoning and use:	PUD	5.)	Area Commercial or Industrial Building	(sq. ft.) 32,000
	6a.)	Description of Facility to be served:	SINGLE FAMILY/TOWNHOMES/COMMERCIAL	6b.) Number of Lots	56	6c.) Number of Units 165
	7d.)	Additional description information:	ALSO INCLUDES PARCELS: 468034-8230, 468043-1923, 468044-0386, 468044-0585, 468034-8660, 468034-3187, 468034-1315			
	B. Applicant Information	HARI VUPPALA		407 SUTRO FOREST DR. NW		
		<small>(Title)</small>				
<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>				
AVA GLOBAL, LLC		CONCORD, NC, 28027				
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>				
704-488-3290		N/A				
<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>				
HARI VUPPALA (Name)		AVAGLOBALLLC@GMAIL.COM (Email)		AVAGLOBALLLC@GMAIL.COM		
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>				
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	HY NGUYEN		DPR DESIGN			
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>			
	NC PE 030523		919 BERRYHILL RD. SUITE 101			
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>			
	704-332-1204		CHARLOTTE, NC 28208			
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>			
BEN LAWRENCE		HNGUYEN@DPR.DESIGN				
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>				

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input checked="" type="checkbox"/>	Residential Subdivision	<input checked="" type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input checked="" type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input checked="" type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

70	% Domestic
30	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 60,445 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
SINGLE FAMILY DETACHED	320	gal/ UNIT/DAY	24	GPD	7,680
TOWNHOMES	240	gal/ UNIT/DAY	141	GPD	33,840
RESTAURANT	40	gal/ DAY/SEAT	220	GPD	8,800
RETAIL	100	gal/ DAY/1000 SF	11250	GPD	1,125
DAYCARE	25	gal/ DAY/CHILD+STAFF	340	GPD	8,500
POOL/CLUBHOUSE	10	gal/ PERSON	50	GPD	500
			Total	GPD	60,445

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, Hari Vuppala, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Hari Vuppala Digitally signed by Hari Vuppala
 Date: 2022.12.22 11:25:01 -05'00'

Signature: _____ Date: 12-22-2022

Poplar Mills Narrative

Due January 23, 2023, for consideration March 2023

Site Development Data:

--**Acreage:** ± 28.03 acres

--**Tax Parcel #:** 4680-34-1315, 4680-34-3187, 4680-34-8660, 4680-44-0585, 4680-44-0386, 4680-33-8708, 4680-43-1923, and 4680-34-8230

--**Existing Zoning:** LDR

--**Proposed Zoning:** PUD

--**Existing Uses:** Residential/Vacant

--**Proposed Uses:** 24 single-family detached dwelling units and 141 single family attached units. 2 commercial use buildings.

General:

Poplar Mills is a mixed-use development located on Cox Mill Road in Concord, NC approximately 3500' south of the intersection of Cox Mill Rd and Poplar Tent Rd. It will consist of 24 detached single-family units, 141 attached townhome units and 2 commercial buildings totaling 32,000 sf. Building 1 has been proposed for restaurant and retail use. Building 2 has been proposed for daycare use. Community amenities will include bench seating, walking trails, play areas as well as a community pond.

Project Description:

The site development plan concept will create a mixed use, pedestrian friendly community with a sustainable mix of residential and commercial land uses and intensities containing neighborhood services surrounded by sustainable neighborhood housing with diverse housing types, natural resources, open space areas, and connectivity to the planned community park as well as elementary and high school facilities in walking distance.

This planned development is consistent with the City's 2030 Land Use Plan in accordance with maintaining a sustainable balance of residential and commercial land uses, ensuring compatibility between neighboring land uses, protecting natural resources, retaining open space, connecting mixed uses by way of an integrated network of streets, bike paths and pedestrian access, among other plan goals.

In the event this development receives preliminary sewer capacity allocation for one or more uses, but not all proposed uses, the project will proceed with the approved use(s) and the developer will reapply until all proposed uses have been approved.

Consistent with Purposes of Planned Unit Development:

The proposed planned development will provide for the orderly development of land with a mix of land uses and PUD zoning district to permit flexibility in certain site design features and processing of this quality mixed-use development in exchange for enhanced design elements such as enhanced open space areas and multi-modal connectivity within the community. The proposed planned development promotes the most appropriate use of parcels on the Site, facilitates interconnected streets, substantial open spaces, unified signage/wayfinding, sidewalks, and bike paths with connectivity to the planned community park and nearby schools. The plan preserves/enhances open space and natural features that also offer recreational opportunities to residents. The proposed plan also supports neighborhood services uses for the broader community within walking or biking distances reducing vehicle trips to other commercial nodes.

Design Intent Statement:

Poplar Mills is a proposed walkable residential community where the residents of the community will have convenient and easy access to a series of passive and active open spaces that are interconnected by a network of streets, sidewalks, and trails.

Environmental Features:

The Site will comply with Stormwater and Water Quality requirements as set forth in the Ordinance and applicable NCDEQ Design Manual.

The Site is located outside of any FEMA 100-yr floodway and floodplain.

Price Points for Homes:

\$400k+ for Townhomes and \$450K+ for Single Family Detached homes.



1 SCHEMATIC ILLUSTRATIVE SITE PLAN
PLAN

SCALE: 1" = 100'



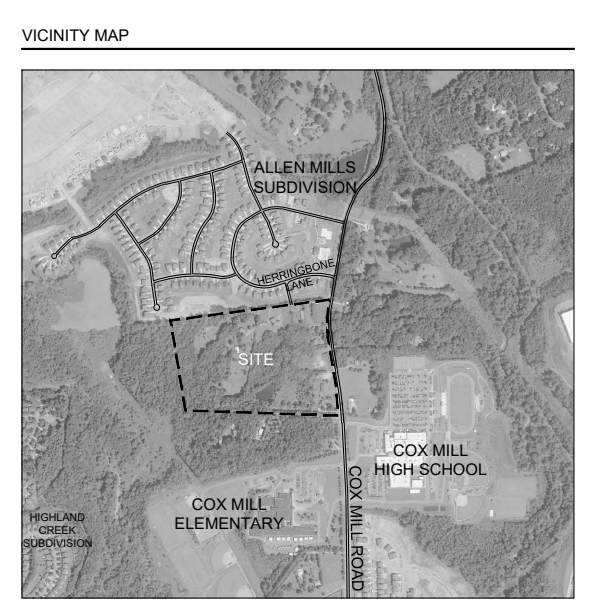
Park Place Commercial View 1 04/28/2021 REDLINE PARK PLACE
Park Place Commercial View 2 04/28/2021 REDLINE PARK PLACE
Park Place Commercial View 3 04/28/2021 REDLINE PARK PLACE
Park Place Commercial View 4 04/28/2021 REDLINE PARK PLACE



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704.331.1000



PARK PLACE AT COX MILL

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
18016
DATE
02.08.2021

REZONING + ANNEXATION PLAN

NO.	DATE	DESCRIPTION	BY
1	04/07/21	SECOND SUBMISSION	CM + TW
2	05/06/21	THIRD SUBMISSION	CM + PK
3	05/26/21	FOURTH SUBMISSION	CM + PK
4	06/08/21	FIFTH SUBMISSION	CM + PK
5	06/09/21	SIXTH SUBMISSION	CM

PROJ. MANAGER: CM
DRAWN BY: TW + PK
CHECKED BY: CM

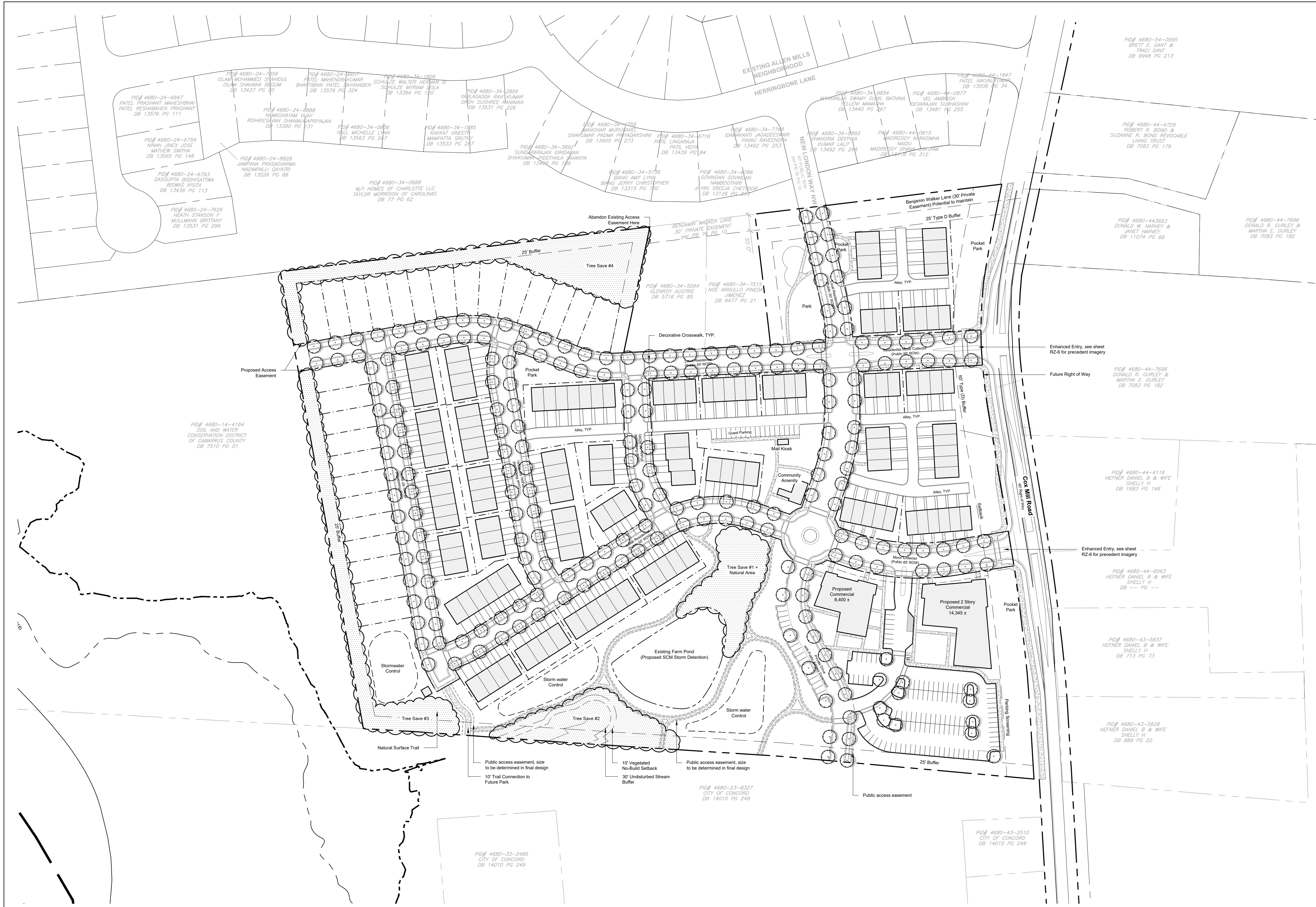
SCALE

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AS INDICATED

DRAWING
ILLUSTRATIVE SITE PLAN

RZ-1

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SITE DEVELOPMENT DATA:

SITE:
 TOTAL SITE AREA: ± 28.03 AC.
 TAX PARCEL #: 4680-34-1315, 4680-34-3187, 4680-34-8660, 4680-44-0585, 4680-44-0386, 4680-33-8708, 4680-43-1923, + 4680-34-8230

EXISTING ZONING: LDR
PROPOSED ZONING: PUD
PROPOSED USE: (I) UP TO 168 SINGLE-FAMILY ATTACHED OR DETACHED DWELLING UNITS OF WHICH NO MORE THAN 142 SHALL BE SINGLE-FAMILY ATTACHED UNITS, AND (II) UP TO 31,250 SQUARE FEET OF COMMERCIAL USES AS ALLOWED BY RIGHT AND UNDER PRESCRIBED CONDITIONS TOGETHER WITH THE ACCESSORY USES IN THE PUD ZONING DISTRICT

PROPOSED DENSITY: 168 DU / 28.03 AC. = 5.99 DU PER AC.
PARKING RATIO: COMMERCIAL: 127 SPACES / 31,250 SF ± 4 SPACES / 1,000 SF

SETBACKS:

COMMERCIAL:
 FRONT YARD: 50' FROM COX MILL RW
 SIDE YARD: 10' FROM INTERIOR STREETS
 REAR YARD: 10' MIN.
 CORNER LOT: 5' MIN.

SINGLE FAMILY:
 MIN. LOT WIDTH: 40' (REQUESTED DEVIATION)
 FRONT YARD: 24' FROM RW
 SIDE YARD: 5' MIN.
 REAR YARD: 15'

TOWNHOMES:
 FRONT LOADED:
 FRONT YARD: 24' FROM RW
 SIDE YARD: 6' MIN.
 REAR YARD: 15'
 CORNER LOT: 6' (REQUESTED DEVIATION)
 REAR LOADED:
 FRONT YARD: 8' (REQUESTED DEVIATION)
 SIDE YARD: 6' MIN.
 REAR YARD: 20'
 CORNER LOT: 6' (REQUESTED DEVIATION)

IMPERVIOUS AREA:

NET SITE AREA: ± 28.03 AC
NET RESIDENTIAL AREA: ± 23.82 AC
NET COMMERCIAL AREA: ± 4.21 AC

RESIDENTIAL:
 STRUCTURES + DRIVEWAYS: ± 317,000 SF (30.6%)
 STREETS: ± 141,000 SF (13.6%)
 SIDEWALKS: ± 83,000 SF (8.0%)
 AMENITY: ± 8,000 SF (0.7%)

RESIDENTIAL TOTAL IMPERVIOUS AREA: ± 12.60 AC. (52.9% OF NET RES. AREA)

COMMERCIAL OUT PARCEL:
 STRUCTURES: ± 25,000 SF (13.6%)
 PARKING: ± 50,000 SF (27.3%)
 STREETS: ± 22,000 SF (12.0%)
 SIDEWALKS: ± 15,000 SF (8.8%)

COMMERCIAL OUT PARCEL TOTAL IMPERVIOUS: ± 2.57 AC. (61.1% OF NET COMMERCIAL AREA)

TOTAL IMPERVIOUS: ± 15.17 AC (54.12% OF NET DEVELOPMENT)

REQUESTED DEVIATIONS TO STANDARDS:

THE FOLLOWING MODIFICATIONS TO MINIMUM STANDARDS ARE REQUIRED FOR THE SUCCESSFUL DEVELOPMENT OF THIS PROPERTY. OTHER MODIFICATIONS MAY BE REQUESTED DURING THE FINAL DESIGN OF THE PROJECT AS PROVIDED IN THE (PUD) ORDINANCE.

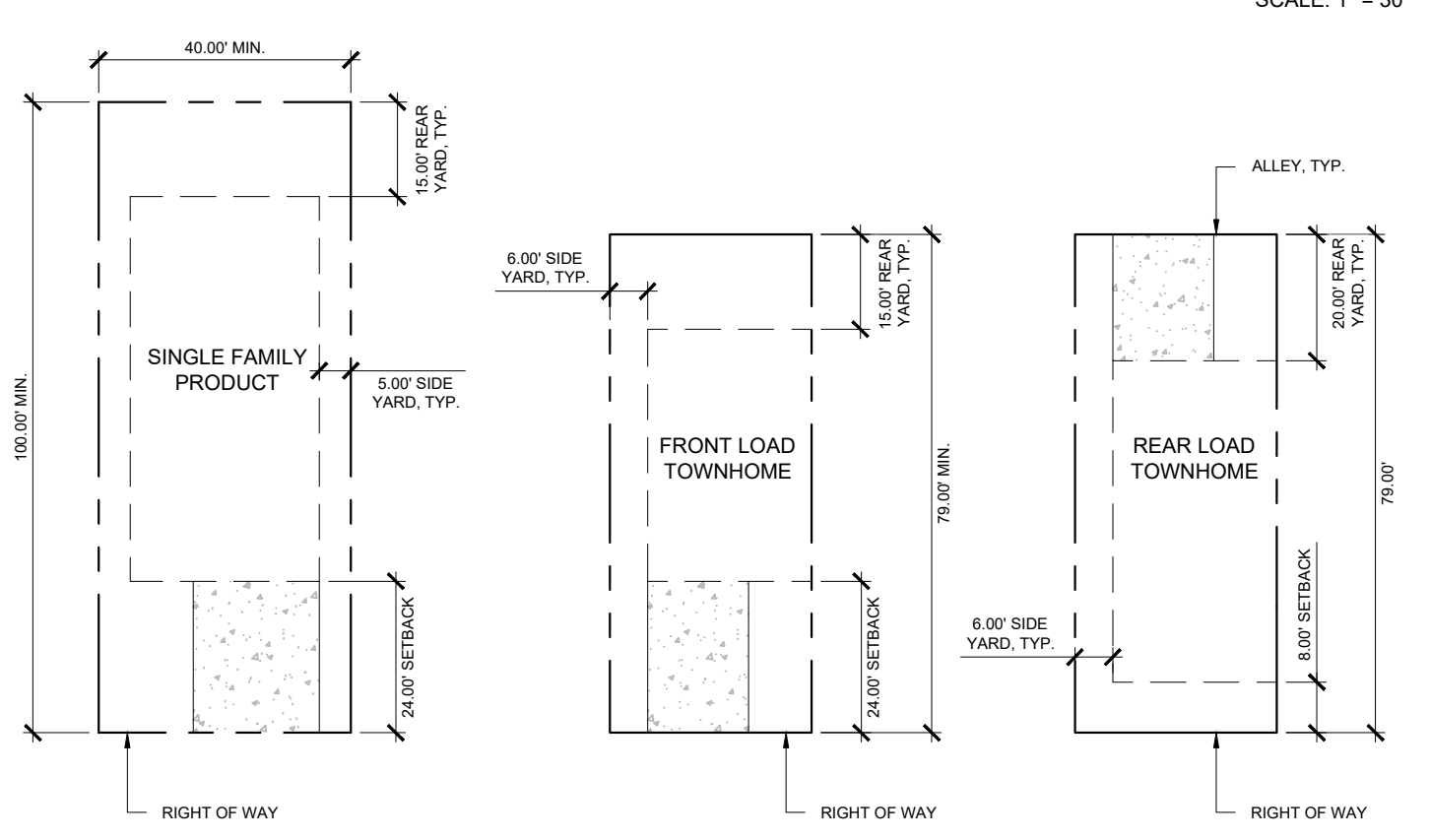
- THE MINIMUM SIDE YARD FOR EXTERIOR TOWNHOME UNITS SHALL BE 6' WITH MINIMUM 12' BUILDING SEPARATION.
- THE MINIMUM DRIVEWAY SEPARATION FOR REAR LOAD TOWNHOMES SHALL BE 4' IN ALLEYS.
- MAXIMUM IMPERVIOUS AREA FOR THE PROJECT SHALL BE 60%.
- 40' MIN. LOT WIDTH FOR SINGLE FAMILY DETACHED HOMES.
- 4000 SF MIN LOT SIZE FOR SINGLE FAMILY DETACHED HOMES
- CORNER LOT SIDE YARD FOR TOWNHOMES
- REQUESTED WAIVER OF 25' PUD BUFFER WHERE PROPOSED PUBLIC STREET ABUTS PARCELS: 4680345594 AND 4680347515
- MAXIMUM IMPERVIOUS AREA IN RESIDENTIAL DISTRICT SHALL BE 60%
- FRONT SETBACK ON REAR LOAD TOWNHOMES SHALL BE 8' FROM ROW

NOTES:

- ALLEYS NEED TO BE CONSTRUCTED TO LOAD BEARING STANDARDS TO SUPPORT SOLID WASTE VEHICLES, AS WELL AS A DAMAGE WAIVER PROVIDED.
- PROJECT PHASING MAY BE REQUIRED DUE TO LIMITATIONS OF AVAILABLE SEWER CAPACITY ALLOCATION. FLOW ACCEPTANCE IS NOT GUARANTEED UNTIL PROJECT PERMITTING.
- 25% OF THE STORMWATER GENERATED FROM THE SITE SHALL BE MANAGED WITH LID MEASURES AS INDICATED IN SECTION 9.11 IN THE DEVELOPMENT ORDINANCE. POTENTIAL ELEMENTS COULD BE BIO-RETENTION BASINS, SAND FILTERS, FILTER STRIPS OR PERVIOUS PAVING. THESE ELEMENTS WOULD BE INCLUDED IN LOW AREAS OF THE SITE TO ALLOW FOR NATURAL DRAINAGE TO THE LID MEASURE.
- MAXIMUM IMPERVIOUS AREA IN RESIDENTIAL SHALL BE 60% TO ACCOMMODATE THE ADDITIONAL IMPERVIOUS AREA NEEDED TO DEVELOP REAR LOAD PRODUCT.
- ACCESS TO THE CABARRUS SOIL AND WATER CONSERVATION PROPERTY SHALL BE PROVIDED AND HILL CONNECT WITH THE EXISTING PATH ON THE CABARRUS SOIL AND WATER CONSERVATION PROPERTY.
- REQUIRED SITE DISTANCE SHALL BE MAINTAINED AT ALL INTERSECTIONS, INCLUDING ALLEYS

1 SCHEMATIC SITE PLAN

LOT DIAGRAM EXHIBIT:



PROJECT PHASING EXHIBIT:



COMMERCIAL AREA EXHIBIT:

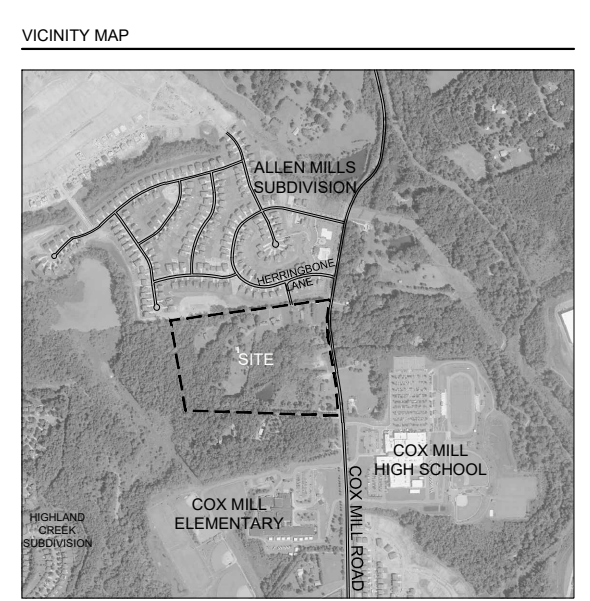


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LAND USE ATTORNEY
 MOOREAVANALEN
 100 NORTH TRYON STREET SUITE 4700
 CHARLOTTE, NORTH CAROLINA 28202
 704.331.1000



PARK PLACE AT COX MILL

COX MILL ROAD
 CONCORD, NORTH CAROLINA

PROJECT NUMBER
 18016

DATE
 02.08.2021

REZONING +ANNEXATION PLAN

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4	06/08/21	FIFTH SUBMISSION	CM + PK
5	06/09/21	SIXTH SUBMISSION	CM

PROJ. MANAGER: C.M.
DRAWN BY: T.W + P.K.
CHECKED BY: C.M.

SCALE
 AS INDICATED

DRAWING
 SCHEMATIC SITE PLAN

RZ-2



1 SCHEMATIC UTILITY PLAN
PLAN

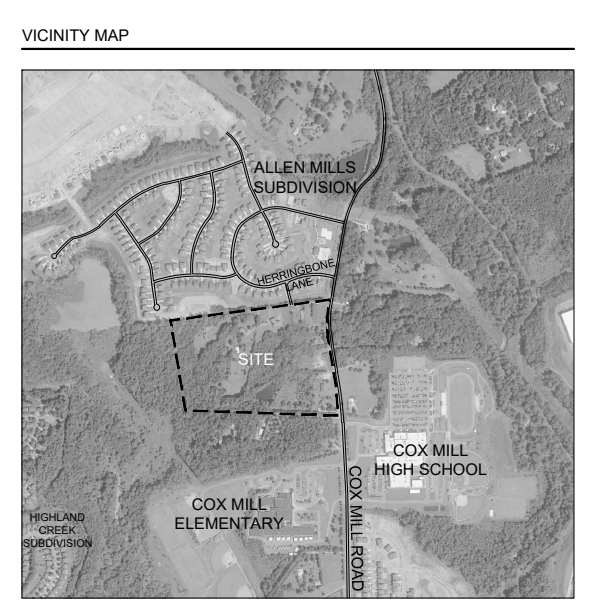
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REZONING + ANNEXATION PLAN

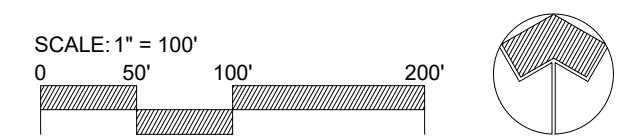
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5	06/09/21	SIXTH SUBMISSION	CM

PROJ. MANAGER: C.M.
DRAWN BY: T.M. + P.K.
CHECKED BY: C.M.

SCALE
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DRAWING
SCHEMATIC UTILITY PLAN

RZ-3



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ARCHITECTURE PRECEDENT:



Park View Commercial View 1
04/29/2021

REDLINE DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN



Park View Commercial View 2
04/29/2021

REDLINE DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN



Park View Commercial Aerial View
04/29/2021

REDLINE DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN



Park View Commercial View 3
04/29/2021

REDLINE DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN



Park View Commercial View 4
04/29/2021

REDLINE DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN



Park View Commercial Material Palette
04/29/2021



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ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

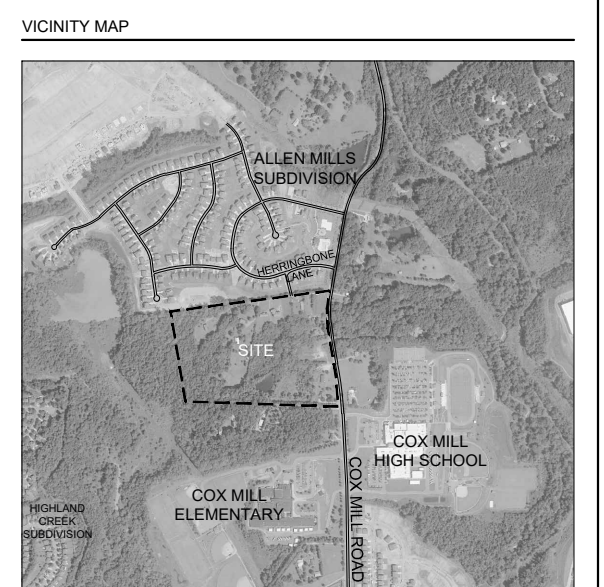


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PROJECT
PARK PLACE AT COX MILL

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
18016

DATE
02.08.2021

ISSUED FOR
REZONING + ANNEXATION PLAN

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PROJ. MANAGER: C.M.
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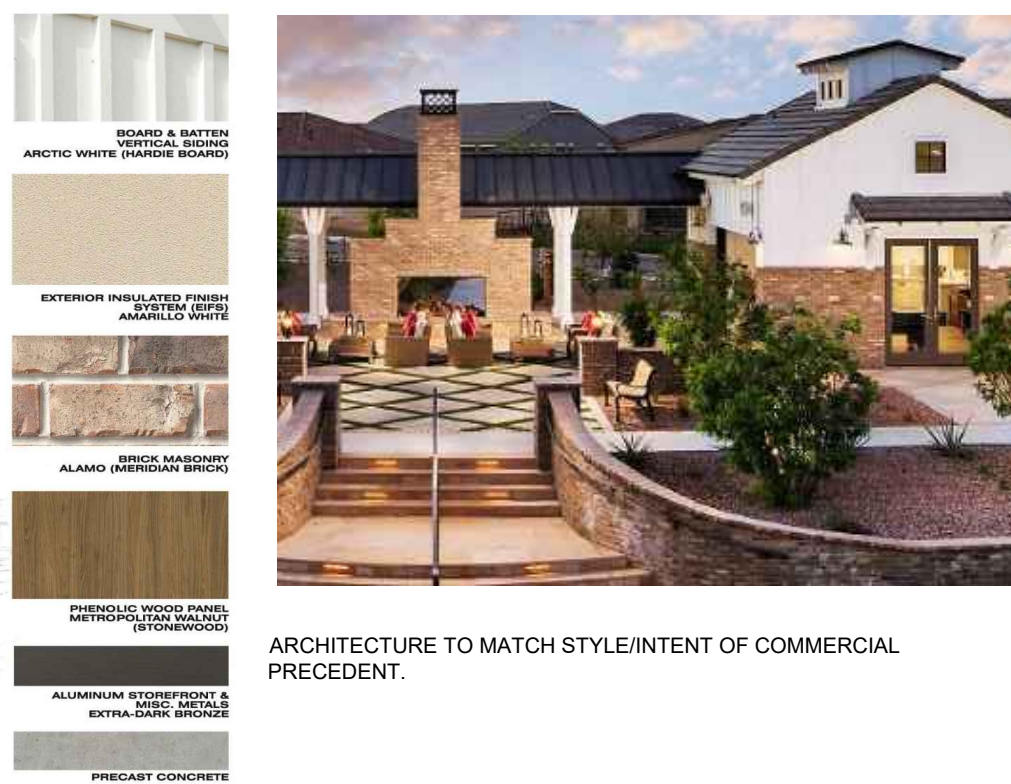
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ARCHITECTURAL CHARACTER

RZ-5

1A OFFICE / COMMERCIAL
CONCEPTUAL ELEVATION



ARCHITECTURE TO MATCH STYLE/INTENT OF COMMERCIAL PRECEDENT.



- BEIGE WINDOW FRAMES, MULLIONS
- STANDARD GREY MODULAR BRICK
- GREY CMU
- 2 COLORS OF CEMENTIOUS EXTERIOR ('HARDIE') BOARD, BOARD & BATTEN, AND CLAPBOARD SIDING
- GUNMETAL GREY POWDER COATED ALUMINUM HANDRAILS AT BALCONIES
- ALUMINUM GUTTERS/DOWNSPOUTS
- METAL TRIM/COPING TO MATCH GUTTERS/DOWNSPOUTS
- CHARCOAL 20 YEAR ASPHALT SHINGLES

2 SINGLE FAMILY HOME EXTERIOR MATERIALS
CONCEPTUAL ELEVATION



- BRICK/STONE
- VINYL SIDING
- CEMENTIOUS EXTERIOR ('HARDIE') BOARD SIDING
- BOARD AND BATTEN

3 TOWNHOMES (SINGLE FAMILY ATTACHED) EXTERIOR MATERIALS
CONCEPTUAL ELEVATION

1B CLUB/AMENITY
CONCEPTUAL ELEVATION



1 CONCEPTUAL OPEN SPACE PLAN
PLAN

1" = 100'

OPEN SPACE TABS:

Open Space	Total (sf)	Environmentally Sensitive Area (sf)	Active Open Space (sf)	Program Elements
1	165,884	90,175	75,709	Bench seating, walking trails, active lawn
2	2,717	0	2,717	Bench seating, overlook to soils conservation property
3	7,837	0	7,837	Bench seating, open lawn
4	21,423	500	20,923	Potential amenity bldg, bench seating, walking trails, active lawn
5	18,253	0	18,253	Lawn, enhanced landscape, bench seating
6	13,218	0	0	Lawn and bench seating
7	12,534	0	12,534	Active lawn, bench seating, enhanced landscape
8	15,722	0	0	Active lawn, trail, bench seating
9	18,900	0	18,900	Hardscape, outdoor seating, benches, lighting
10	5,818	0	5,818	Hardscape, outdoor seating, benches, lighting
11	23,075	0	0	Active lawn, trail, bench seating
Total Site Area			1,221,188 sf	
Total Open Space Provided			305,381 sf (25.2%) Provided	
Total Upland Open Space			214,706 sf (95.7% of provided open space)	
Total Active Open Space			162,691 sf (53.8% of provided open space)	

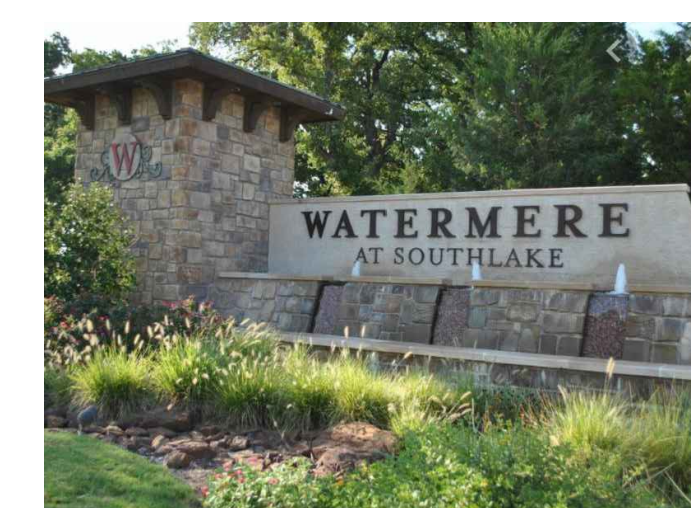
CHARACTER IMAGERY:



DECORATIVE CROSSWALKS:



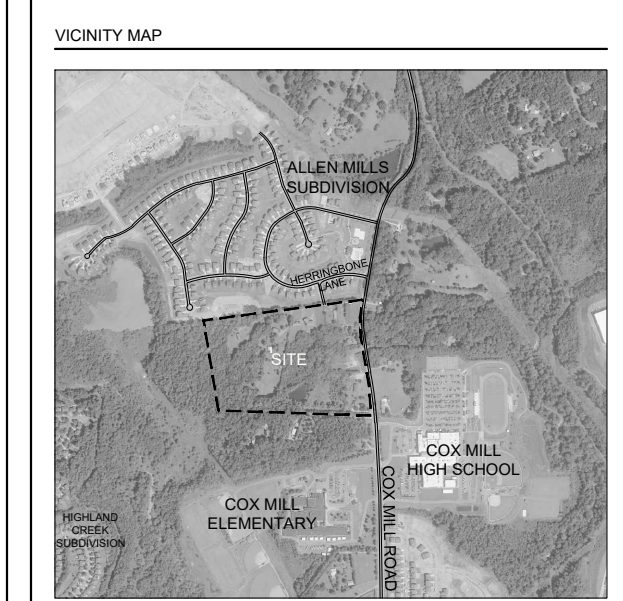
ENHANCED ENTRY IMAGERY:



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704.488.3290

LAND USE ATTORNEY
MOORE&VANALLEN
100 NORTH TRYON STREET SUITE 4700
CHARLOTTE, NORTH CAROLINA 28202
704.331.1000



PARK PLACE AT COX MILL

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
18016

DATE
02.08.2021

REZONING + ANNEXATION PLAN

NO.	DATE	DESCRIPTION	BY
1	04/07/21	SECOND SUBMISSION	CM + TW
2	05/06/21	THIRD SUBMISSION	CM + PK
3	05/26/21	FOURTH SUBMISSION	CM + PK
4	06/08/21	FIFTH SUBMISSION	CM + PK
5	06/09/21	SIXTH SUBMISSION	CM

PROJ. MANAGER: C.M.
DRAWN BY: T.W. + P.K.
CHECKED BY: C.M.

SCALE

SCALE AS INDICATED

DRAWING
OPEN SPACE PLAN

RZ-6

Plotfile: 18016-RZ1.dwg / 6/9/2021 5:56 PM



TREE SAVE + TREE REPLANTING TABS:

TREE SAVE REQUIRED:	50% OF REQ. OPEN SPACE (305,297 SF x 0.5 = 152,649 SF)
TREE SAVE AREA #1:	19,399 SF
TREE SAVE AREA #2:	23,269 SF
TREE SAVE AREA #3:	31,206 SF
TREE SAVE AREA #4:	42,533 SF
TREE REPLANTING AREA A:	16,277 SF
TREE REPLANTING AREA B:	21,659 SF
TOTAL TREE SAVE + TREE REPLANTING PROVIDED:	154,343 SF (76.3% REQ. MET BY TREE SAVE)

1 TREE SAVE + TREE REPLANTING PLAN
PLAN

1" = 100'



2 EXISTING CANOPY AREA
PLAN

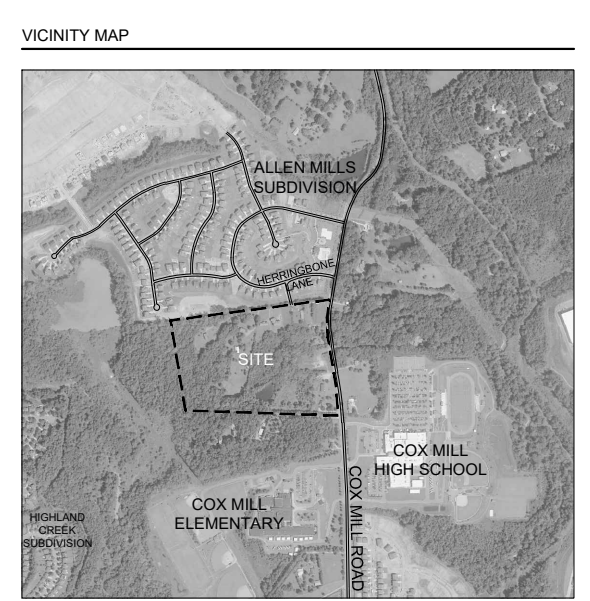
NTS



master planning . civil engineering
urban design . landscape architecture
420 hawthorne ln . charlotte, nc 28204
704.332.1204 . www.dprassociates.net
NC Firm License # C-0560

CLIENT / OWNER
AVA GLOBAL, LLC
407 SUTRO FOREST DR NW
CONCORD, NORTH CAROLINA, 28027
704.488.3290

LAND USE ATTORNEY
MOORE&VANLLEN
100 NORTH TRYON STREET SUITE 4700
CHARLOTTE, NORTH CAROLINA 28202
704.331.1000



PARK PLACE AT COX MILL

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
18016

DATE
02.08.2021

REZONING + ANNEXATION PLAN

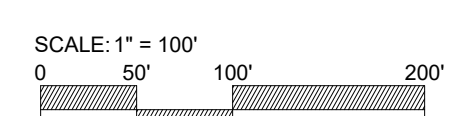
NO.	DATE	DESCRIPTION	BY
1	04/07/21	SECOND SUBMISSION	CM + TW
2	05/06/21	THIRD SUBMISSION	CM + PK
3	05/26/21	FOURTH SUBMISSION	CM + PK
4	06/08/21	FIFTH SUBMISSION	CM + PK
5	06/09/21	SIXTH SUBMISSION	CM

PROJ. MANAGER: C.M.
DRAWN BY: T.W. + P.K.
CHECKED BY: C.M.

SCALE

SCALE
AS INDICATED

DRAWING
TREE SAVE + TREE REPLANTING PLAN



RZ-7

Residential: Single Family Attached (Townhomes)

Weddington Ridge Phase 3 (CN-PSA-2023-00009/PRS2021-03324)

7515 Ruben Linker Rd. NW

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	137	Yes	Yes	Yes	Yes	Yes	No

Allocation Request

Total	2023	2024	2025
34,320	12,000	12,000	10,320

Project Scoring

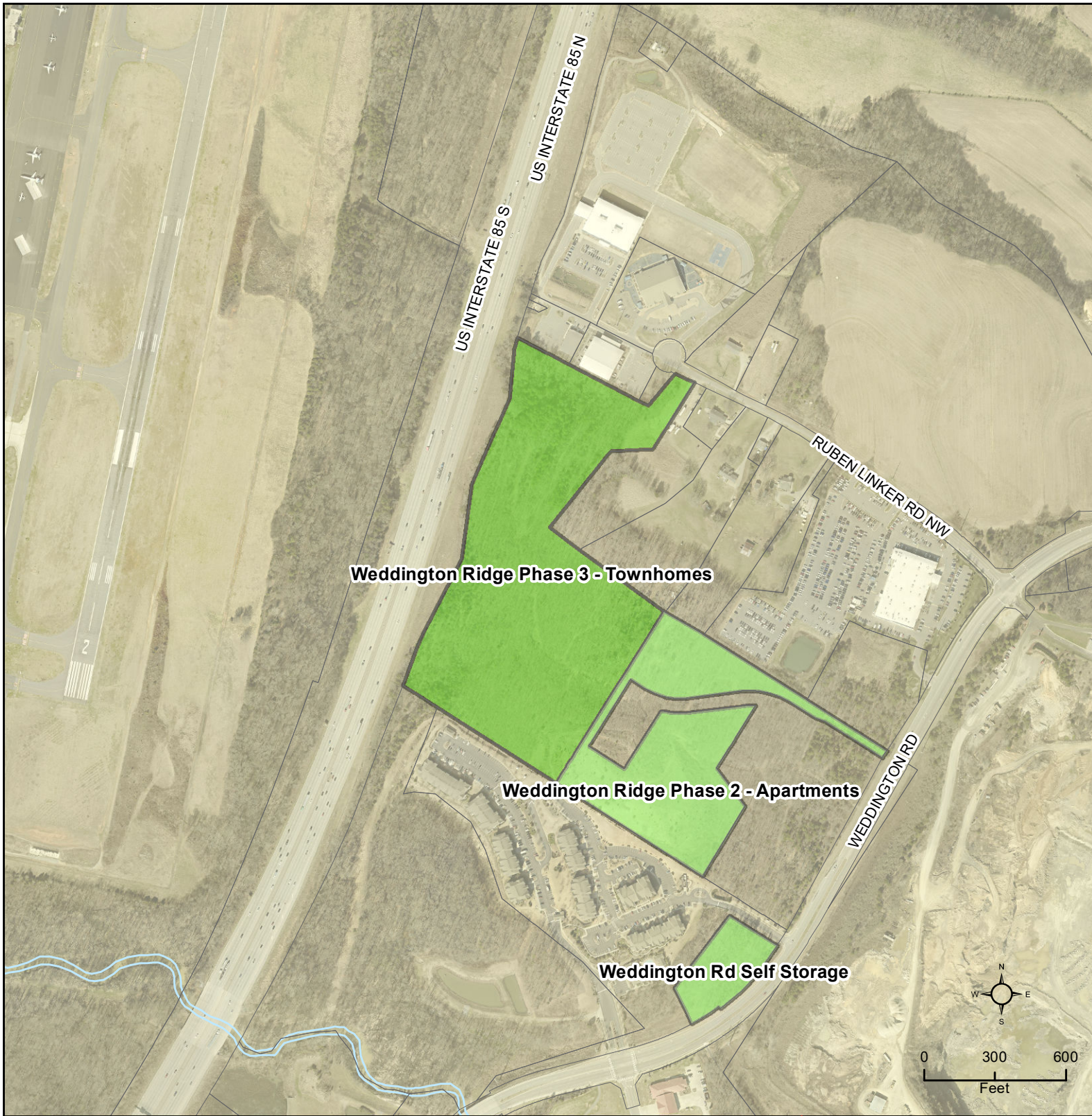
Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	0		0	1	0	3

Brief Summary

137 townhomes located on Ruben Linker Rd. City Council considered this case in March of 2022, and did not allocate sewer for the project at that time. This project has also come before City Council for sewer allocation in July of 2022 and September of 2022, and did not allocate sewer for this project at that time. This is the back half of a Special Use Permit that was granted by Planning and Zoning Commission on June 19, 2018. At the time of the special use permit, townhomes were permitted in the C-2 zoning district by right, so the area was not included within the bounds of the special use permit. The applicant pursued an amendment to the special use permit to go to 648 apartments over the entire site, which was denied by the Planning and Zoning Commission on December 17, 2019. The applicant then proceeded with the development of the apartment units under the entitlements granted by SUP 05-18 in two phases. City Staff has administratively authorized the townhomes to proceed under the former entitlements although townhomes were removed as a permitted use from the C-2 zoning district on December 12, 2019. The preliminary plat is pending payment of \$400 in fees as of May 16, 2022. A 30' greenway easement is being dedicated as part of this project. This site is part of the Weddington Road Corridor Plan.

Outstanding Items

On the last round of review, there are several technical requirements not met that will require a few adjustments. An approved copy of the NCDEQ erosion control permit has not been received by the City.



CN-PSA-2023-00009

Weddington Ridge Phase 3 - Townhomes






Type: Residential

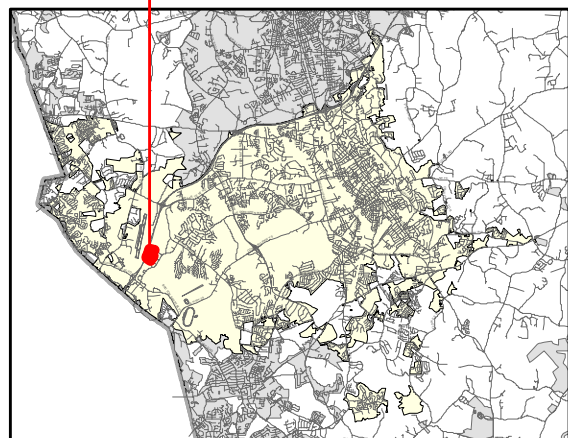
SF Attached

137 townhome units

Allocation Request: 34,320

Project Score: 3

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Weddington Ridge Phase 3			
	2.)	Description of project location:	8150 Weddington Riad, Concord NC			
			(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))			
	3.)	Cabarrus County Parcel Identification Number:	45991783680000	3a.)	Parcel Acreage:	25.66
	4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building	(sq. ft.)
	6a.)	Description of Facility to be served.	Townhomes	6b.) Number of Lots	NA	6c.) Number of Units 137
	7d.)	Additional description information:	Phase 3 is 137 Townhome Units			
B. Applicant Information	Tony Chen		Managing Director		601 S. Tryon St, Suite 800	
			<small>(Title)</small>		<small>(Applicant's Street or Box Number)</small>	
	<small>(Name of legal owner, board, council, and/or authorized official with title: as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		Crescent Acquisitions, LLC		Charlotte, NC 28202	
					<small>(Applicant's City, State, Zip Code)</small>	
	<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		(315) 480-2883		<small>(Applicant's Facsimile Number)</small>	
			<small>(Applicant's Phone Number)</small>		<small>(Applicant's Email Address)</small>	
	Dan	<small>(Name)</small>	Gualtieri	<small>(Email)</small>		
		<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>		
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Robert Cash		CESO, Inc			
			<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>	
	033448		4601 Park Road, Suite 650			
			<small>(NCPE Registration Number)</small>			<small>(Street or Box Number)</small>
	(803) 802-1459		Charlotte, NC 28209			
			<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>	
Peter Day		bob.cash@cesoinc.com				
		<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>		

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input checked="" type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 34,320 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.


{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
3-Bedroom Residential Unit	240	gal/ unit	119	GPD	28,560
4-Bedroom Residential Unit	320	gal/ unit	18	GPD	5,760
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
			Total	GPD	34,320

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Tony Chen, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.


 Signature: _____ Date: 4/19/22

February 7, 2023

M. Sue Hyde, PE
City of Concord Engineering Department
PO Box 308
Concord, NC 28026

RE: Weddington Ridge Phase 3
Sanitary Sewer System

Crescent Communities, LLC is proposing to develop a residential community on Weddington Road, in Concord, North Carolina. The development is located on three parcels totaling approximately 48.7 acres and will consist of both multifamily apartments and townhomes to provide high quality, new construction housing to over 400 households who will contribute to the long-term economic growth of Concord. The project includes 297 apartments and 137 townhomes. Crescent Communities projects a total investment of over \$120 million in the development of this neighborhood, including nearly \$90 million of construction work. The project is located within the Weddington Road Area Plan and includes the construction of a new public street connecting Weddington Road and Ruben Linker Road, improving connectivity in this area.

Although the project is broken up into three phases for permitting, Crescent intends to develop this project all at once due to the substantial earthwork and infrastructure required to develop this site.

In general, the subject site is located on the west side of Weddington Road, in Concord, North Carolina. The rectangular-shaped site is bounded by Weddington Road to the East, I-85 to the West, a multi-family development to the South, and both single family homes and businesses to the north. The existing zoning is C-2, a SUP was obtained in 2018 to allow for the development of multifamily in the C-2 zoning. The approved SUP proposed townhomes on the western half of the site (Phase 3) which allows the townhomes to be developed in the existing C-2 zoning.

The townhomes of this development will include a mix of 3- and 4-bedroom units with private garages and backyard space. Site amenities will include nature walking trails, outdoor gathering areas, as well as an easement dedication for a future greenway connection.

A willingness to serve letter was obtained for Phase 1 of the development on 11/17/2020 (requires that the project commence construction within two years) as well as a private sewer permit from NCDEQ on 7/13/2021. The approved allocation was to serve Phase I consisting of multifamily apartment buildings. Crescent Communities is requesting sewer allocation for the townhome portion of the development (34,320 gpd).

We are nearing approval of our land development plans for Phase I-III. Construction is anticipated to commence for all three portions of the development once we receive the remaining sewer capacity allocation needed for the entire project (as defined as "Phase II" and "Phase III" for planning and permitting purposes).

We believe this development will be a great location for new and existing Concord residents to call home as it provides a convenient location to access the jobs, amenities and community that the City of Concord has to offer.

Respectfully,

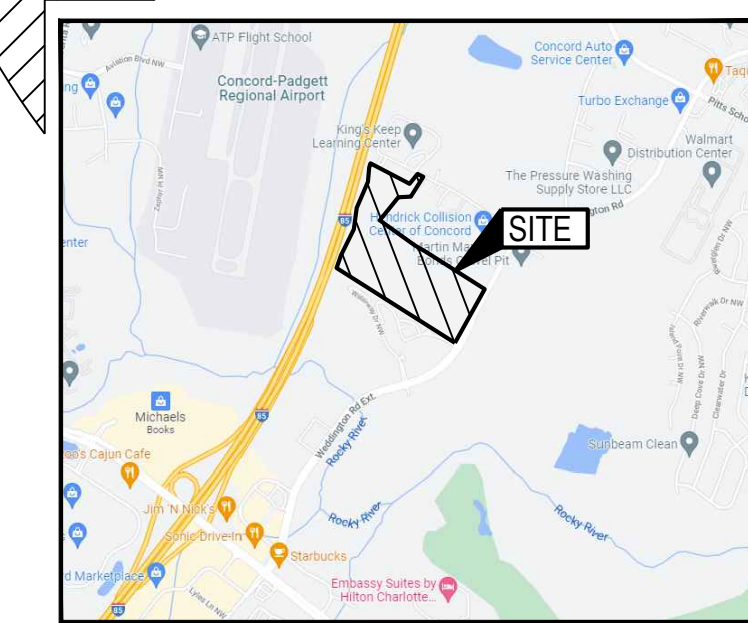
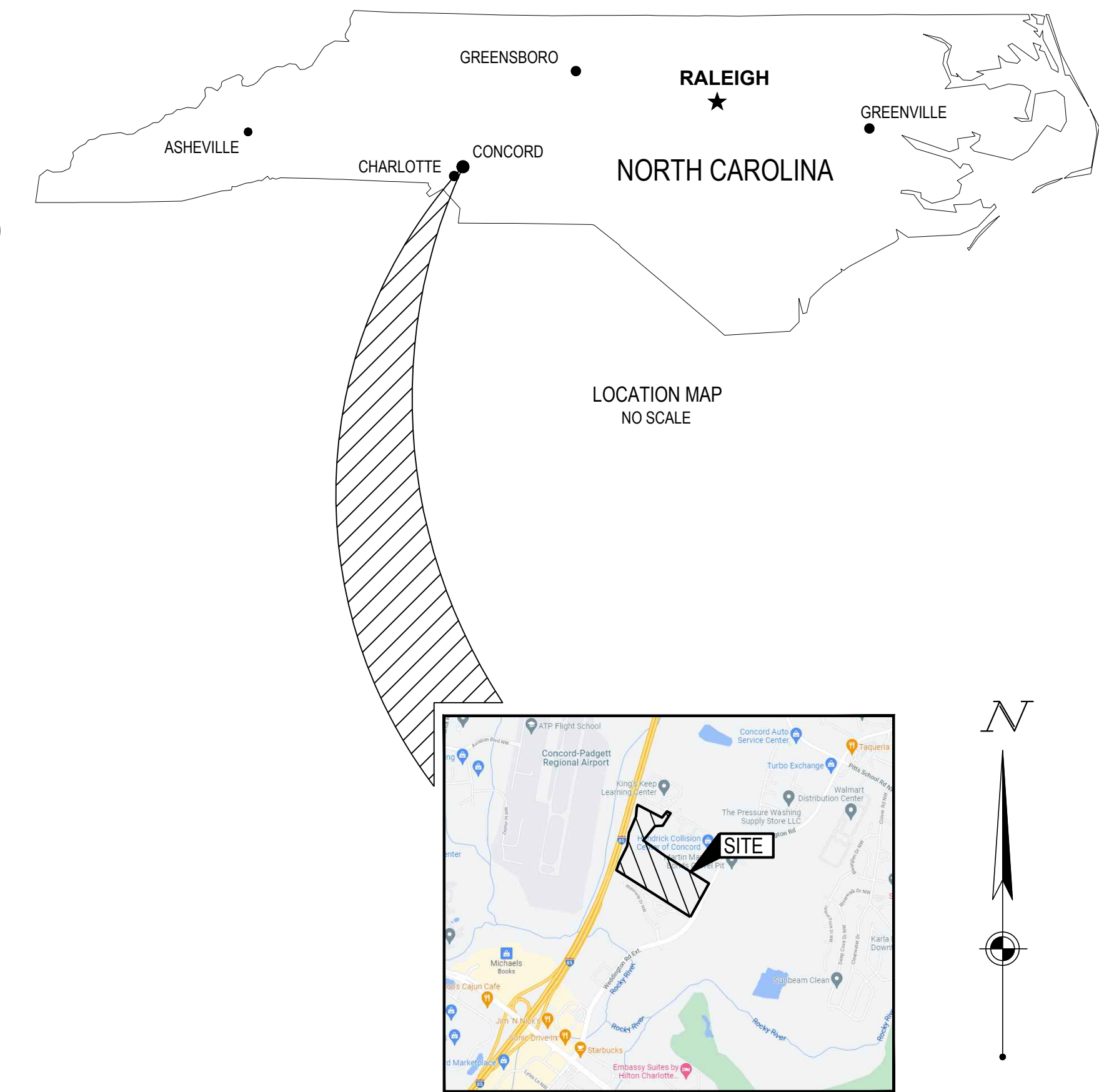
A handwritten signature in black ink, appearing to read 'R. Cash', written in a cursive style.

Robert Cash, PE
Senior Program Director, Civil Engineering

Initials: RLC

CITY OF CONCORD, CABARRUS COUNTY, NORTH CAROLINA PHASE 3 CONSTRUCTION DOCUMENTS FOR WEDDINGTON RIDGE TOWNHOMES

8150 WEDDINGTON ROAD
CONCORD, NORTH CAROLINA



OWNER/DEVELOPER:
CRESCENT ACQUISITIONS, LLC
601 SOUTH TRYON ST, STE 800
CHARLOTTE, NC 28202
PHONE: (980) 321-6000
CONTACT: XXXX

ENGINEER:
CESO, INC.
4601 PARK ROAD, STE 650
CHARLOTTE, NC 28209
PHONE: (704) 521-7898
CONTACT: ROBERT CASH, P.E.

GOVERNING AGENCIES AND UTILITY COMPANIES:

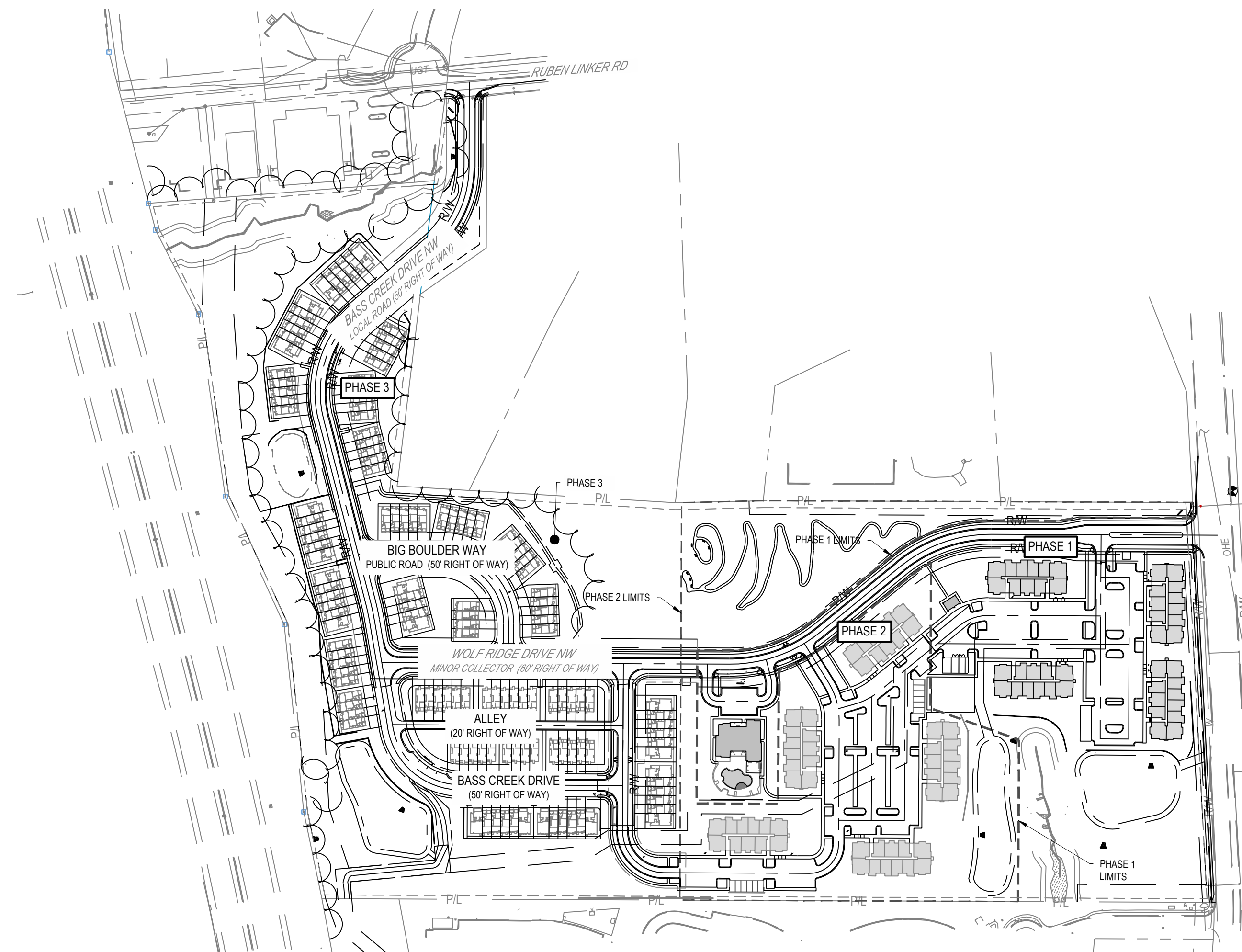
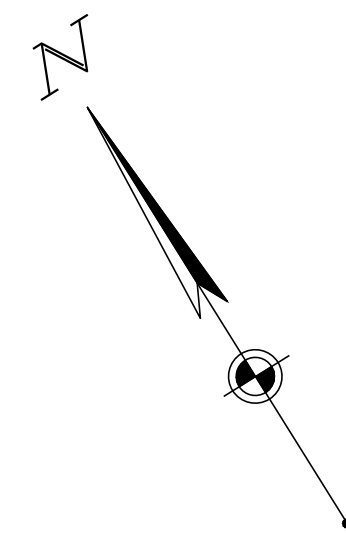
ZONING:
PLANNING & NEIGHBORHOOD
DEVELOPMENT DEPARTMENT
35 CABARRUS AVE W CONCORD,
NC 28025
PHONE: (704) 920-5152

CITY OF CONCORD ENGINEERING DEPARTMENT:

WASTEWATER
635 ALFRED BROWN JR. COURT SW CONCORD, NC 28025
PHONE: (704) 920-5342

WATER RESOURCES
635 ALFRED BROWN JR. COURT SW CONCORD, NC 28025
PHONE: (704) 920-5300

STORMWATER SERVICES DEPARTMENT
635 ALFRED BROWN JR. COURT SW CONCORD, NC 28025
PHONE: (704) 920-5555



OVERALL PROJECT PLAN
SCALE: 1"=200'

BENCHMARK				
	ELEVATION*	NORTHING**	EASTING**	DESCRIPTION
A	677'-6.7200"	596576'-4.8000"	1493437'-7.9200"	PK NAIL IN ASPHALT
B	641'-3.4800"	595765'-3.2400"	1492985'-6.1200"	PK NAIL IN ASPHALT

* VERTICAL DATUM: NAD83F
** HORIZONTAL DATUM: NAD83 - NORTH CAROLINA GRID NORTH, US FOOT

SURVEY PROVIDED BY:
GPA PROFESSIONAL LAND SURVEYORS
605 PHILLIP DAVIS DRIVE CHARLOTTE, NC
PHONE: (704) 335-8600
CONTACT: CHRIS DELLA MEA
DATED: 06/04/2019

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY GPA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

NORTH CAROLINA DEPARTMENT OF
TRANSPORTATION STANDARD
CONSTRUCTION DRAWINGS:

SHEET LIST TABLE	
SHEET #	SHEET TITLE
C0.00	COVER SHEET
C1.00	GENERAL NOTES
C4.00	MASTER SITE PLAN
C4.01	SITE PLAN
C4.02	SITE PLAN
C4.10	ROADWAY PLAN AND PROFILE
C4.11	ROADWAY PLAN AND PROFILE
C4.12	ROADWAY PLAN AND PROFILE
C4.13	ROADWAY PLAN AND PROFILE
C4.14	ROADWAY PLAN AND PROFILE
C4.15	INTERSECTION DETAILS
C4.16	INTERSECTION DETAILS
C5.00	OVERALL GRADING PLAN
C5.01	GRADING PLAN
C5.02	GRADING PLAN
C5.03	GRADING PLAN
C5.04	STORM PROFILES
C5.05	STORM PROFILES
C5.06	STORM PROFILES
C5.07	STORM PROFILES
C5.08	STORM PROFILES
C5.09	DRAINAGE MAP

C5.10	DRAINAGE MAP
C6.00	OVERALL UTILITY PLAN
C6.01	UTILITY PLAN
C6.02	UTILITY PLAN
C6.03	FIRE PROTECTION PLAN
C6.04	FIRE PROTECTION PLAN
C7.01	SANITARY PLAN AND PROFILE
C7.02	SANITARY PLAN AND PROFILE
C7.03	SANITARY PLAN AND PROFILE
C7.04	SANITARY PLAN AND PROFILE
C7.05	SANITARY PLAN AND PROFILE
C7.06	SANITARY PLAN AND PROFILE
C7.07	SANITARY PLAN AND PROFILE
C9.00	DETAILS
C9.01	STORM MANAGEMENT SYSTEM DETAILS
C9.02	STORM MANAGEMENT DETAILS
C9.03	WATER AND STORM DETAILS
C9.04	UTILITY DETAILS
L1.00	LANDSCAPE PLAN
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE DETAILS
COS-1	OPEN SPACE MAINTENANCE PLAN

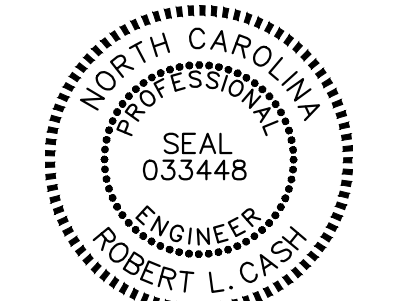


REVISION DESCRIPTION

NO. DATE

CESO NC, Co.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
(937) 435-8584
COA: C-4740

ROBERT CASH, PE
BOB.CASH@CESOINC.COM



Digitally signed by
Robert L. Cash
Date: 2022.01.20
16:31:21 -0500

CRESCENT ACQUISITIONS, LLC
WEDDINGTON RIDGE
PHASE 3 - TOWNHOMES
WEDDINGTON ROAD, CONCORD, NC

COVER SHEET

ISSUE:
NOT FOR CONSTRUCTION

DATE:
OCTOBER 21, 2021

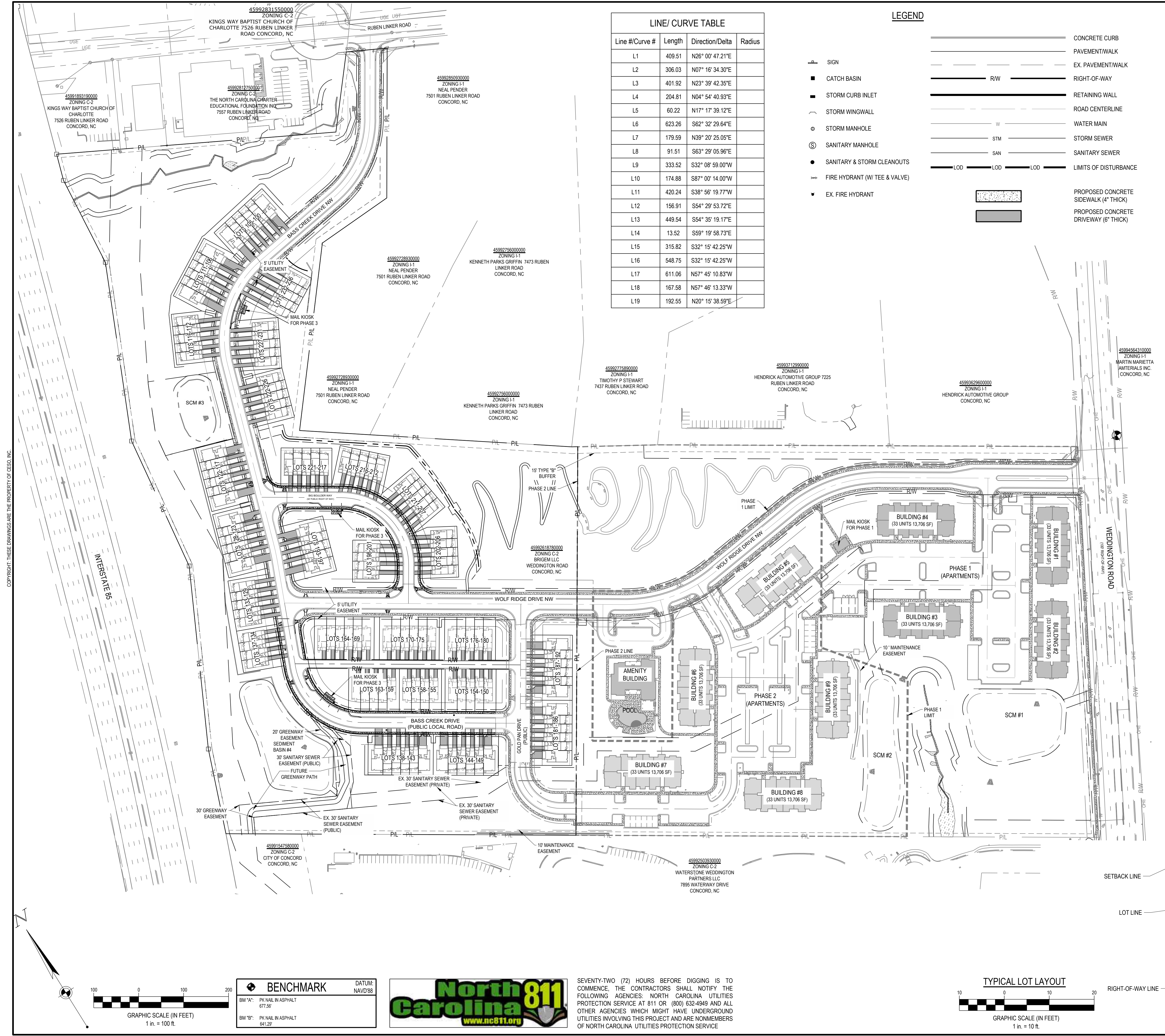
JOB NO.: 759758-01

DESIGN: C. GRAMMER

DRAWN: J. TEW

CHECKED: P. DAY

SHEET NO.
C0.00



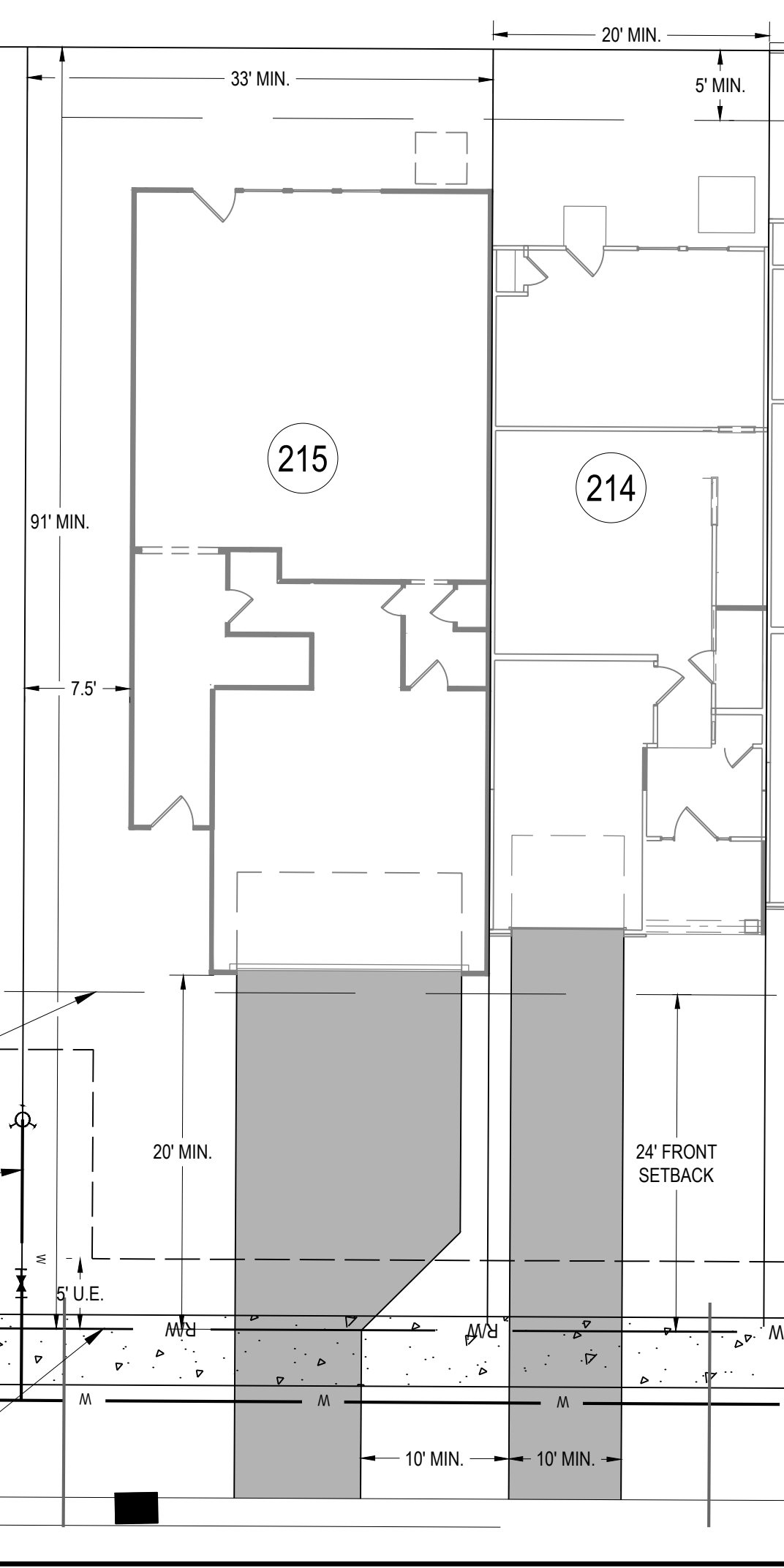
LINE/ CURVE TABLE

Line #/Curve #	Length	Direction/Delta	Radius
L1	409.51	N26° 00' 47.21"E	
L2	306.03	N07° 16' 34.30"E	
L3	401.92	N23° 39' 42.35"E	
L4	204.81	N04° 54' 40.93"E	
L5	60.22	N17° 17' 39.12"E	
L6	623.26	S62° 32' 29.64"E	
L7	179.59	N39° 20' 25.05"E	
L8	91.51	S63° 29' 05.96"E	
L9	333.52	S32° 08' 59.00"W	
L10	174.88	S87° 00' 14.00"W	
L11	420.24	S38° 56' 19.77"W	
L12	156.91	S54° 35' 53.72"E	
L13	449.54	S54° 35' 19.17"E	
L14	13.52	S59° 19' 58.73"E	
L15	315.82	S32° 15' 42.25"W	
L16	548.75	S32° 15' 42.25"W	
L17	611.06	N57° 45' 10.83"W	
L18	167.58	N57° 46' 13.33"W	
L19	192.55	N20° 15' 38.59"E	

- LEGEND**
- SIGN
 - CATCH BASIN
 - STORM CURB INLET
 - STORM WINGWALL
 - STORM MANHOLE
 - SANITARY MANHOLE
 - SANITARY & STORM CLEANOUTS
 - FIRE HYDRANT (W/ TEE & VALVE)
 - EX. FIRE HYDRANT
 - CONCRETE CURB
 - PAVEMENT/WALK
 - EX. PAVEMENT/WALK
 - RIGHT-OF-WAY
 - RETAINING WALL
 - ROAD CENTERLINE
 - WATER MAIN
 - STORM SEWER
 - SANITARY SEWER
 - LIMITS OF DISTURBANCE
 - PROPOSED CONCRETE SIDEWALK (4" THICK)
 - PROPOSED CONCRETE DRIVEWAY (6" THICK)

PHASE 3 PROJECT DATA TABLE

SITE ADDRESS	WEDDINGTON ROAD, CONCORD, NC	
GROSS SITE AREA:	48.7± AC	
PHASE 1 & 2 AREA:	22.6± AC	
PHASE 3 AREA:	26.1± AC	
P.I.D. NO.:	45991783680000, 45992646620000, 45992684130000	
EXISTING ZONING:	C-2	
PROPOSED USE:	TOWNHOMES (SUP 05-18)	
MAXIMUM DENSITY:	15 DUA	
CONSTRUCTION TYPE:	TYPE V (WOOD FRAME)	
MAXIMUM BUILDING LENGTH:	180 FT	
PROPOSED BUILDING LENGTH:	56 FT (MAX)	
MAXIMUM BUILDING HEIGHT:	35 FT	
PROPOSED BUILDING HEIGHT:	25 FT (MAX)	
PROPOSED BUILDING SQUARE FOOTAGE:	1,400 FT ² (MAX)	
FRONT SETBACK:	24 FT (20' IF REAR-LOADED)*	
*NOTE: CORNER LOTS HAVE TWO FRONTS AND BOTH WOULD HAVE A FRONT SETBACK OF 20'		
SIDE SETBACK (EXTERIOR UNITS):	7.5 FT	
REAR SETBACK:	5 FT	
PROPOSED # OF UNITS:	137 TOWNHOME LOTS	
WATERSHED:	YADKIN-PEE DEE RIVER BASIN	
DRAINAGE BASIN:	YADKIN-PEE DEE RIVER	
PHASE 3 DENSITY:	137 UNITS / 26.1 ACRES = 5.25 DUA	
PHASE 3 LOT ACREAGE	MINIMUM LOT ACREAGE = 0.040	
		AVERAGE LOT ACREAGE = 0.050
PHASE 3 OPEN SPACE	(12.3 ACRES / 26.1 ACRES) X 100 = 47% OPEN SPACE	
PHASE 3 ACTIVE OPEN SPACE	0.30 AC	
STREET R-O-W AREA (PHASE 3)	1.61 AC	
BASS CREEK DRIVE C.L. LENGTH:	651 FT (TOTAL LENGTH)	
ALLEY C.L. LENGTH	502 FT	
PHASE 3 PERVIOUS AREA:	17,964± AC	
PHASE 3 IMPERVIOUS AREA:	7,790± AC	
ROAD IMPERVIOUS AREA:	2,550± AC	
SIDEWALK IMPERVIOUS AREA:	0.86± AC	
DRIVEWAY IMPERVIOUS AREA:	1.06± AC	
BUILDING IMPERVIOUS AREA:	3,31± AC	
PHASE 3 IMPERVIOUS:	3,72± AC	
BASIN 4 IMPERVIOUS:	3,82± AC	
ANTICIPATED FINAL PLATTING DATE:	FEBRUARY 2023	



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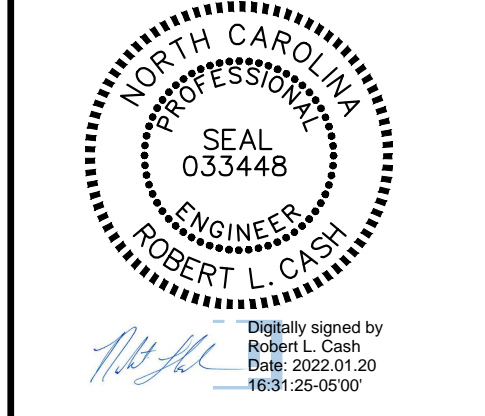


REVISION DESCRIPTION

NO.	DATE	REVISION DESCRIPTION

CESO NC, Co.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
(937) 435-8584
COA: C-4740

ROBERT CASH, PE
BOB.CASH@CESOINC.COM



CRESCENT ACQUISITIONS, LLC
**WEDDINGTON RIDGE
PHASE 3 - TOWNHOMES**

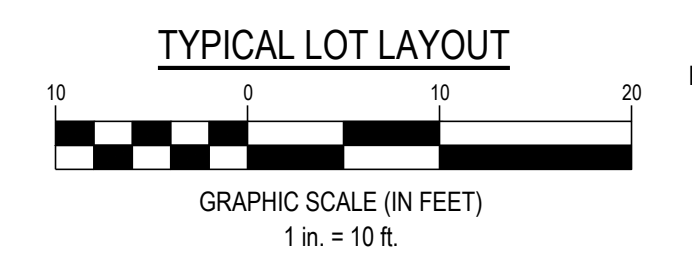
MASTER SITE PLAN

ISSUE:
NOT FOR CONSTRUCTION
DATE:
OCTOBER 21, 2021
JOB NO.: 759758-01
DESIGN: C. GRAMMIE
DRAWN: J. TEW
CHECKED: P. DAY

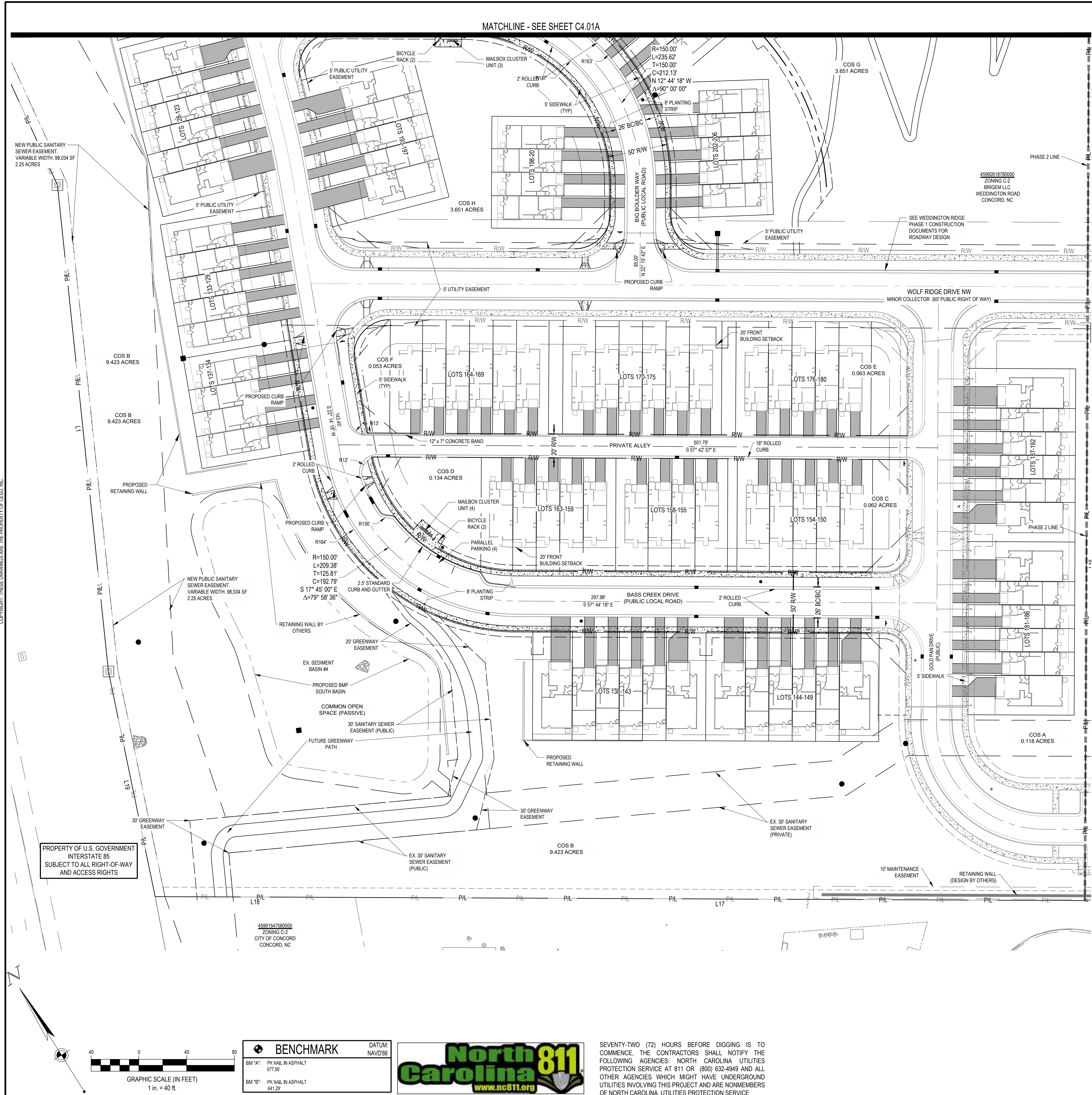
SHEET NO.
C4.00



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE



MATCHLINE - SEE SHEET C4.01A



LEGEND

- CONCRETE CURB
- PAVEMENT/WALK
- EX. PAVEMENT/WALK
- RW — RIGHT-OF-WAY
- RETAINING WALL
- ROAD CENTERLINE
- WATER MAIN
- STM — STORM SEWER
- SAN — SANITARY SEWER
- LOD — LIMITS OF DISTURBANCE
- PROPOSED CONCRETE SIDEWALK (4" THICK)
- PROPOSED CONCRETE DRIVEWAY (6" THICK)
- SIGN
- CATCH BASIN
- STORM CURB INLET
- STORM WINGWALL
- STORM MANHOLE
- SANITARY MANHOLE
- SANITARY & STORM CLEANOUTS
- FIRE HYDRANT (W/ TEE & VALVE)
- EX. FIRE HYDRANT

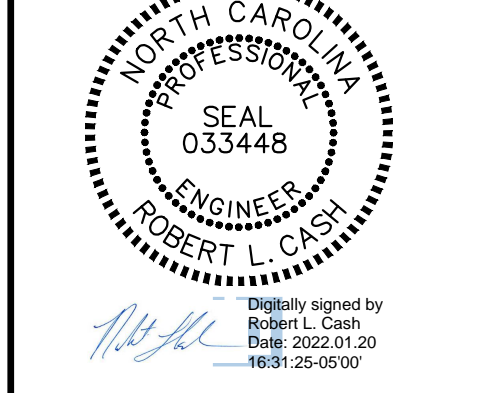
COPYRIGHT, THESE DRAWINGS ARE THE PROPERTY OF CESCO, INC.



NO.	DATE	REVISION DESCRIPTION

CESO NC, Co.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
(937) 435-8584
COA: C-4740

ROBERT CASH, PE
BOB.CASH@CESOINC.COM



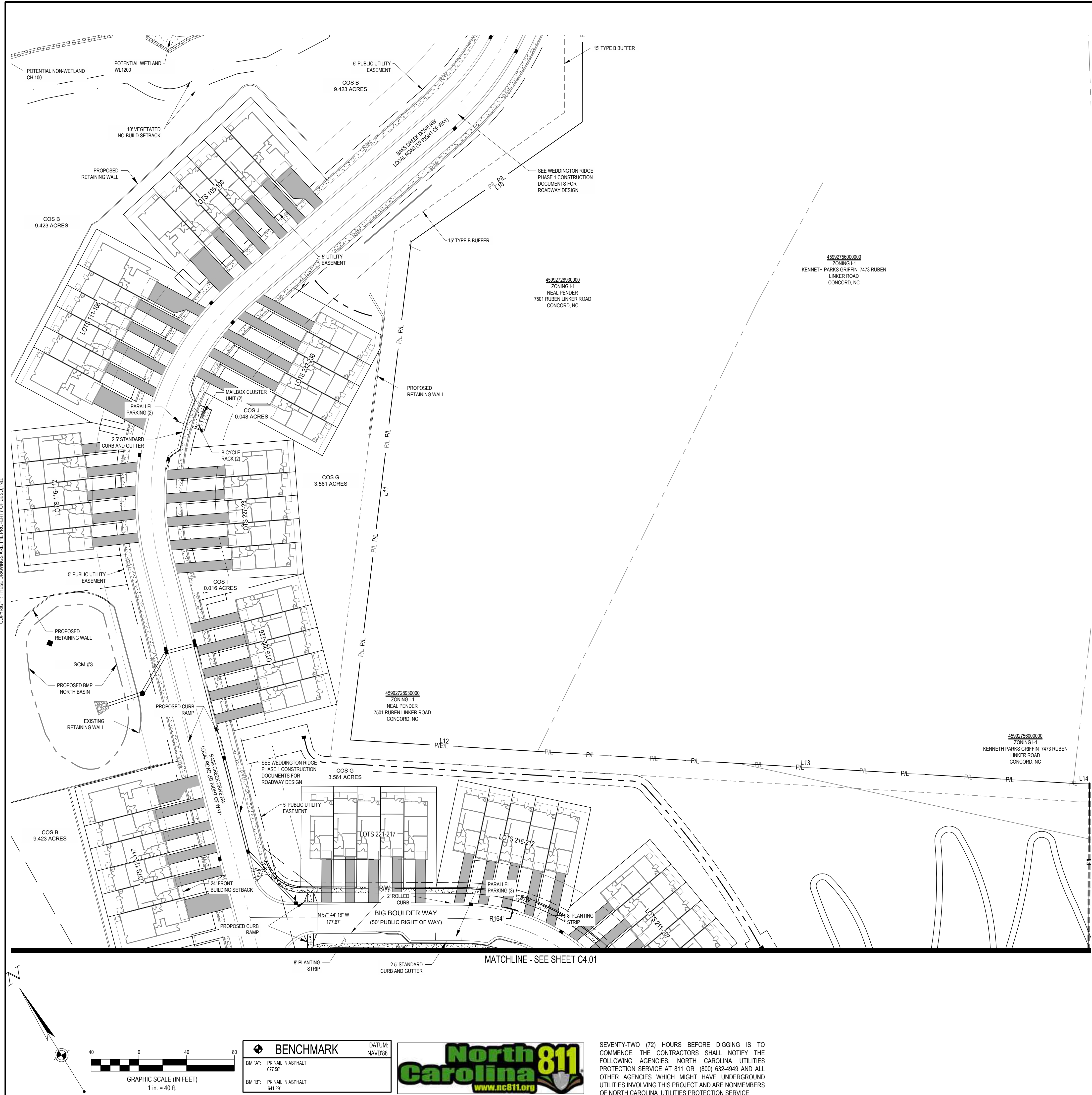
CRESCENT ACQUISITIONS, LLC
WEDDINGTON RIDGE
PHASE 3 - TOWNHOMES

WEDDINGTON ROAD, CONCORD, NC

SITE PLAN	
ISSUE:	NOT FOR CONSTRUCTION
DATE:	OCTOBER 21, 2021
JOB NO.:	759758-01
DESIGN:	C. GRAMMIER
DRAWN:	J. TEW
CHECKED:	P. DAY
SHEET NO.:	C4.01



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE



LEGEND

—	CONCRETE CURB
—	PAVEMENT/WALK
- - -	EX. PAVEMENT/WALK
— RW —	RIGHT-OF-WAY
—	RETAINING WALL
- - -	ROAD CENTERLINE
— W —	WATER MAIN
— STM —	STORM SEWER
— SAN —	SANITARY SEWER
— LOD —	LIMITS OF DISTURBANCE
■	PROPOSED CONCRETE SIDEWALK (4" THICK)
■	PROPOSED CONCRETE DRIVEWAY (6" THICK)

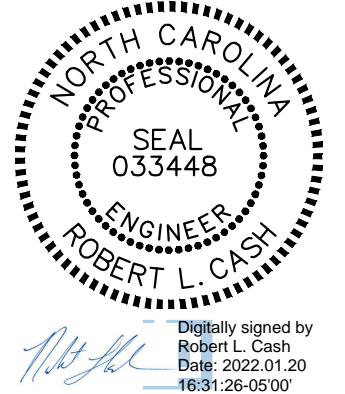
—	SIGN
■	CATCH BASIN
■	STORM CURB INLET
—	STORM WINGWALL
○	STORM MANHOLE
⊙	SANITARY MANHOLE
●	SANITARY & STORM CLEANOUTS
—	FIRE HYDRANT (W TEE & VALVE)
—	EX. FIRE HYDRANT



NO.	DATE	REVISION DESCRIPTION

CESO NC, Co.
 3601 RIGBY ROAD, STE 300
 MIAMISBURG, OH 45342
 (937) 435-8584
 COA: C-4740

ROBERT CASH, PE
 BOB.CASH@CESOINC.COM



CRESCENT ACQUISITIONS, LLC

**WEDDINGTON RIDGE
 PHASE 3 - TOWNHOMES**

WEDDINGTON ROAD, CONCORD, NC

SITE PLAN

ISSUE:	NOT FOR CONSTRUCTION
DATE:	OCTOBER 21, 2021
JOB NO.:	759758-01
DESIGN:	C. GRAMMIER
DRAWN:	J. TEW
CHECKED:	P. DAY
SHEET NO.	C4.02

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SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE



Residential: Single Family Attached (Townhomes)

Wallace Meadows (CN-PSA-2023-00010/PRS2018-02493)

10560 Harris Rd.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
3/8/2018	Yes	80	Yes	Yes	No	No	Yes	No

Allocation Request

Total	2023	2024
19,440	12,000	7,440

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	0	0	0

Brief Summary

The Wallace Meadows project was rezoned in 2018 for 121 townhome units. This parcel is zoned RV-CD and is located near the Town of Huntersville. This project submitted a preliminary plat in 2018 and it was approved but wasn't paid for and issued until 2022 (CN-PLP-2018-00024). The applicant also submitted construction documents for 80 units in 2018 under record PRS2018-02493. As of June 2021, the system is waiting for a resubmittal.



CN-PSA-2023-00010

Wallace Meadows






Type: Residential

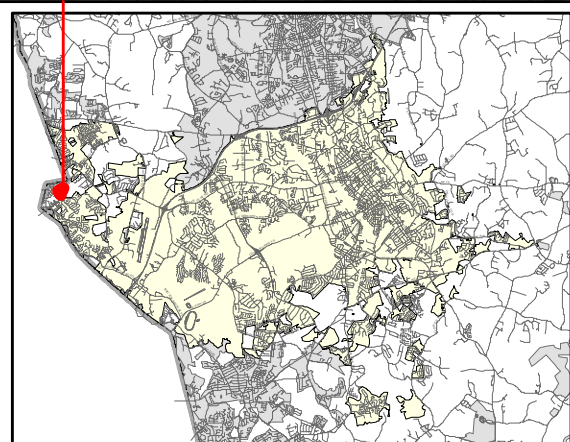
SF Attached

80 townhome units

Allocation Request: 19,440

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Wallace Meadows			
	2.)	Description of project location:	10560 Harris Rd. Concord, NC 28027			
	(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
	3.)	Cabarrus County Parcel Identification Number:	46706884640000	3a.)	Parcel Acreage:	15.20
	4.)	Site Zoning and use:	RV-CD-Vacant	5.)	Area Commercial or Industrial Building (sq. ft.)	N/A
	6a.)	Description of Facility to be served.	Residential Subdivison	6b.) Number of Lots	81	6c.) Number of Units 80
	7d.)	Additional description information:				
B. Applicant Information	Brad Dyer		Project Manager		2857 Westport Road	
	(Name of legal owner, board, council, and/or authorized official with title, as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)				(Applicant's Street or Box Number)	
	Eastwood Homes				Charlotte, NC 28208	
	(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings as applicable.)				(Applicant's City, State, Zip Code)	
	(980) 721-0919				(Applicant's Facsimile Number)	
	(Applicant's Phone Number)				(Applicant's Email Address)	
Brad Dyer- Project Manager (Name)		bdyer@eastwoodhome.com (Email)				
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Robert Cash		CESO			
	(Typed name of North Carolina Professional Engineer)				(Company Name)	
	033448				4601 Park Road, Suite 650	
	(NCPE Registration Number)				(Street or Box Number)	
	704-521-7898				Charlotte, NC 28031	
	(Phone Number)				(City, State, Zip Code)	
Robert Cash				bob.cash@cesoinc.com		
(Name and affiliation of contact person, who can answer questions about application & designs)				(Engineer's Email Address)		

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input checked="" type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other _____ (Specify) _____

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 19,440 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T . 114
 a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses, public access facilities located near high public use areas, as defined in G.S. 42A-4).
 b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T. 14] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.
 [Flow rates NOT listed in table 5A NCAC 2T .0114 must be supported with a actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.]

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Dwelling Unit (3bdm)	240 gal/	81	GPD 19,440
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 19,440

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Brad Dyer, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.


 Signature:

Oct 18, 2022
 Date:

October 20, 2022

M. Sue Hyde, PE
City of Concord Engineering Department
PO Box 308
Concord, NC 28026

RE: Wallace Meadows
Sanitary Sewer System

Eastwood Homes is proposing to develop a residential community on Harris Road, in Concord, North Carolina. The development is located on one parcel and totals approximately 15.20 acres and will consist of townhomes to provide high quality, new construction housing to 81 households who will contribute to the long-term economic growth of Concord. Eastwood Homes projects a total investment of over \$7,500,000.00 in the development of this neighborhood, including nearly \$17,000,000.00 of construction work. The price point for the townhomes will be starting in the high \$300k range.

In general, the subject site is located on the north side of Harris Road, in Concord, North Carolina. The triangular-shaped site is bounded by Harris Road to the East, an existing gravel driveway with single-family homes to the south, and a stream to the west. The property was is zoned as City of Concord RV-CD.

The townhomes proposed for this development will include a mix of 3 and 4-bedroom units, with private garages. Site amenities include a tot lot playground area by others and a 5-foot nature trail.

The project is being converted to a private sewer system. The construction documents and permitting applications to NCDEQ are completed at this time and ready for review.

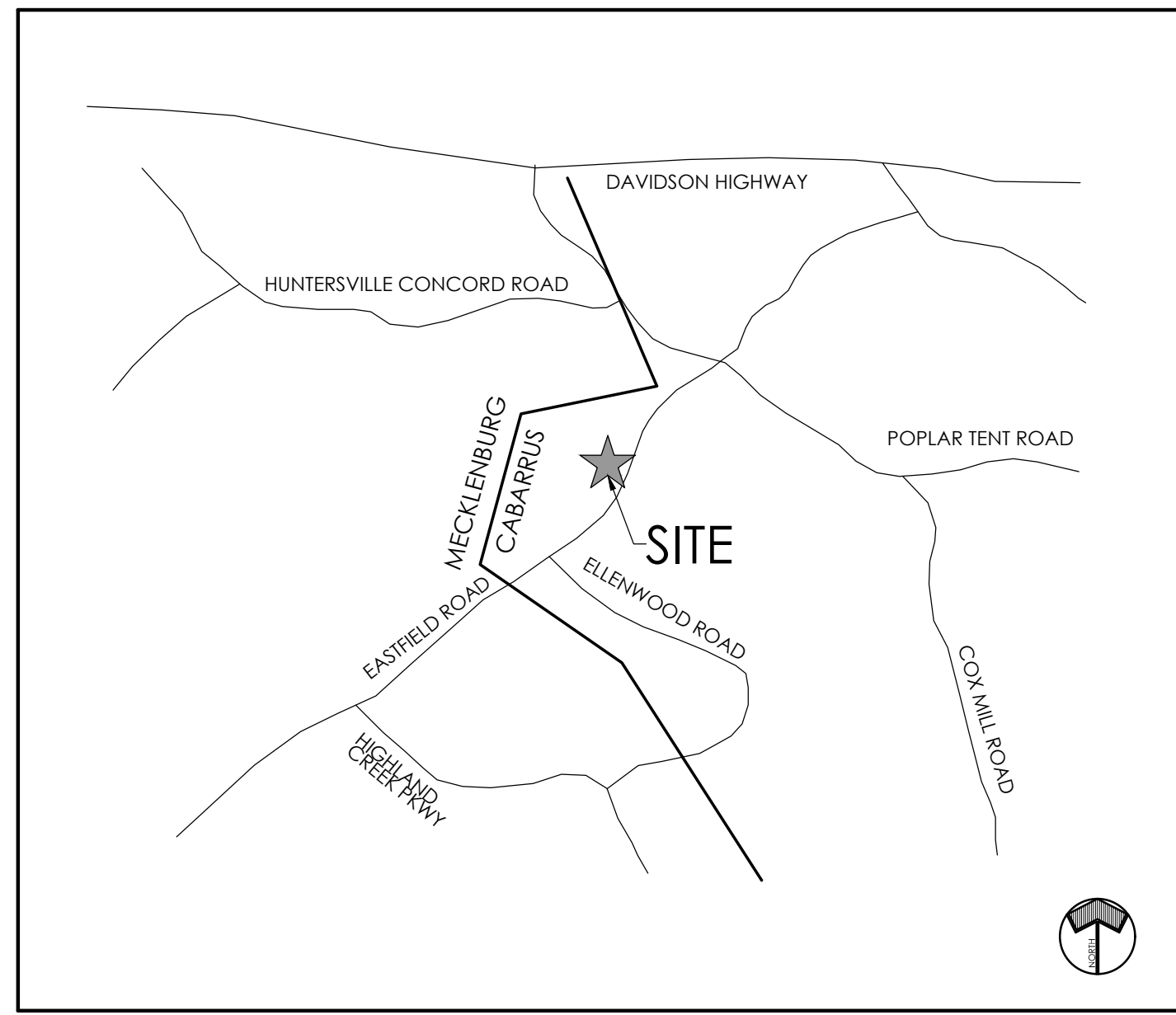
We believe this development will be a great location for new and existing Concord residents to call home as it provides a convenient location to access the jobs, amenities and community that the City of Concord has to offer.

Respectfully,



Robert Cash, PE
Senior Program Director, Civil Engineering

Initials: RLC



VICINITY MAP
SCALE: N.T.S.

TOTAL SITE ACREAGE = 15.20 AC
CABARRUS COUNTY ZONING = MDR

PROPOSED ZONING = RV-CD (CITY OF CONCORD)
 8 DWELLING UNITS / ACRE ALLOWED
 ALLOWABLE: 121 DWELLING UNITS
 PROVIDED: 5 DWELLING UNITS / ACRE
 MULTI-FAMILY UNITS = 80
 66.1% OF ALLOWABLE DENSITY

REQUIRED OPEN SPACE (12%)
 662,446 x 0.12 = 79,493 SF (1.825 AC)

PROVIDED OPEN SPACE: (29%)
 145,683 (3.34 AC) (OPEN SPACE HATCH)
 (INCLUDES ACTIVE OPEN SPACE: 7,301 SF)

50% OF THE CREEK & POND AREA
 (94,100 x 0.5 = 47,050 SF (WATER MGMT AREA))

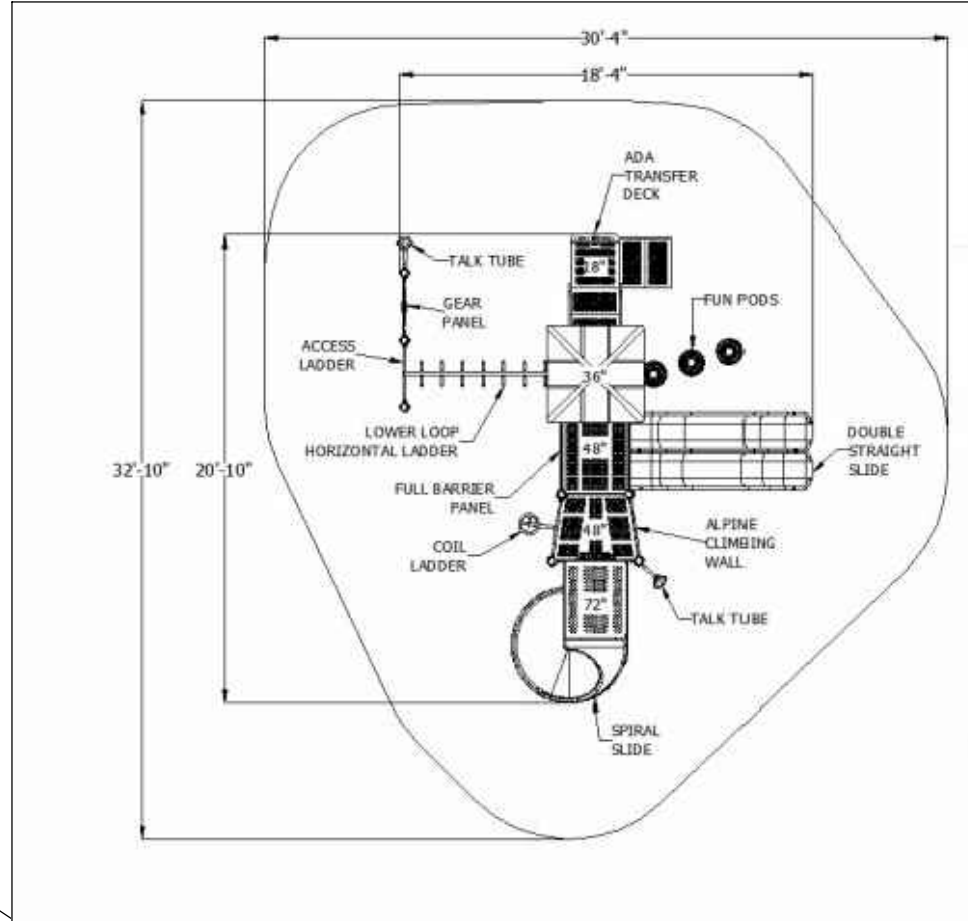
TOTAL OPEN SPACE PROVIDED: 192,733 SF (4.424 AC)
 17% ADDITIONAL OPEN SPACE PROVIDED VS REQUIRED

IMPERVIOUS SURFACE:
 222,736 SF, (5.11 AC), 33.6%
 *(INCLUDES ROADS, WALKS, BUILDING FOOTPRINTS AND DRIVES)

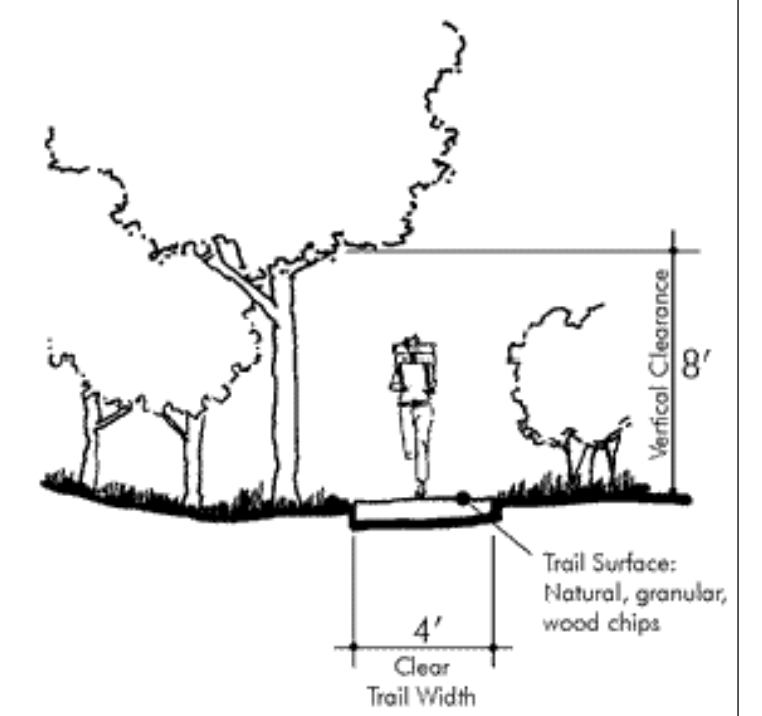
STREET TREES LEGEND:
 SHADE STREET TREES
 1 PER 100 LF (4,250 LF) = 43 TREES REQUIRED
 49 TREES PROVIDED

ORNAMENTAL STREET TREES
 1 PER 50 LF (4,250 LF) = 85 TREES REQUIRED
 88 TREES PROVIDED

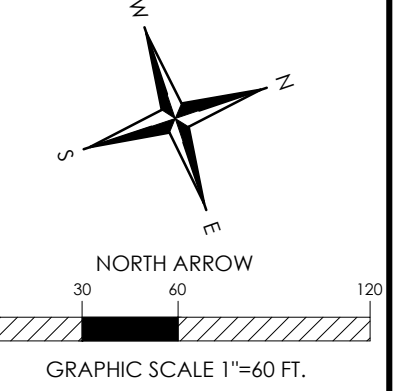
FRONT YARD TREES LEGEND:
 1 TREE PER UNIT = 80 TREES REQUIRED
 80 TREES PROVIDED



CONCEPTUAL PLAY GROUND DESIGN

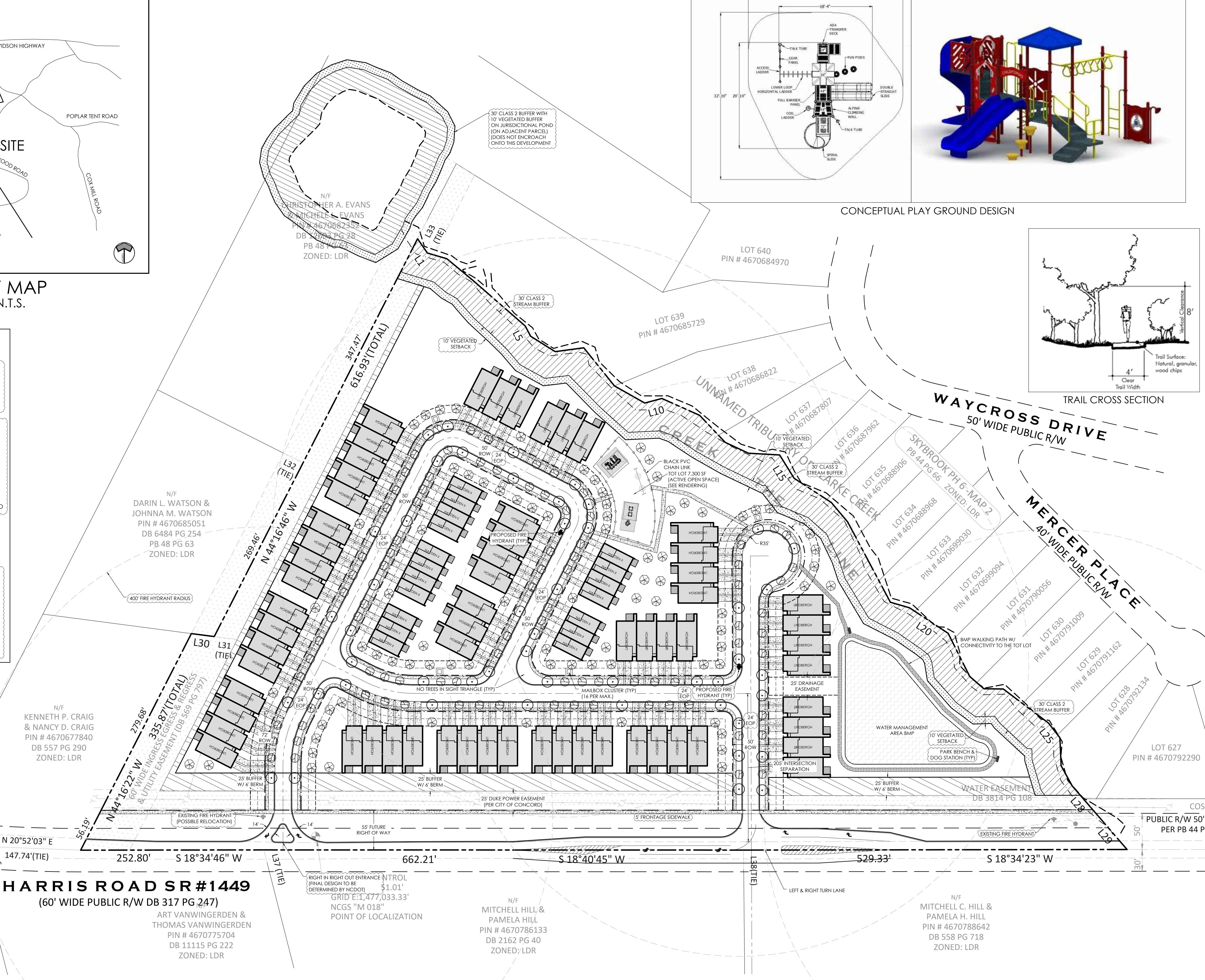


TRAIL CROSS SECTION



WALLACE MEADOWS
 PIN # 4670688464
 10560 HARRIS ROAD, HUNTERSVILLE (CABARRUS COUNTY) 28078

OVERALL SKETCH PLAN



HARRIS ROAD SR#1449
 (60' WIDE PUBLIC R/W DB 317 PG 247)

ART VANWINGERDEN &
 THOMAS VANWINGERDEN
 PIN # 4670775704
 DB 11115 PG 222
 ZONED: LDR

RIGHT IN RIGHT OUT ENTRANCE CONTROL
 FINAL DESIGN TO BE DETERMINED BY NCDOT \$1.01'
 GRID E: 1,477,033.33'
 NCGS "M 018"
 POINT OF LOCALIZATION

N/F MITCHELL HILL &
 PAMELA HILL
 PIN # 4670786133
 DB 2162 PG 40
 ZONED: LDR

N/F MITCHELL C. HILL &
 PAMELA H. HILL
 PIN # 4670788642
 DB 558 PG 718
 ZONED: LDR

REVISIONS:

X-BASE: 218001-R8.DWG
 PROJECT NUMBER: 218001
 DATE: 03/12/18 DRAWN BY: HFI
 SHEET **EX01**

Residential: Single Family Attached (Townhomes)

Skybrook Corners Ph 2 Expansion (CN-PSA-2023-00014)

10601 Poplar Tent Rd.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
12/16/2021	Yes	19	No	No	No	Yes	Yes	No

Allocation Request

Total	2023
4,560	4,560

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary

The applicant originally submitted 52 townhomes near the intersection of Poplar Tent Rd. and Huntersville-Concord Rd. The preliminary plat was at technical approval on February 10, 2021. The 52 units received sewer allocation on March 22, 2022. The applicant pursued annexation of an adjacent piece of property for a road access, which was approved by City Council on November 10, 2020, and zoned on December 15, 2020. Additional land adjacent to the access was approved for annexation by Council on February 10, 2022. Now the applicant is trying to develop 5 units for Skybrook Corners and 15 for the Stinson Expansion.

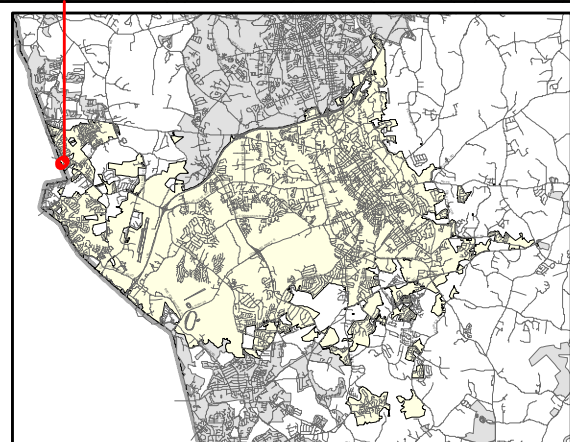


CN-PSA-2023-00014

Type: Residential
 SF Attached
 19 townhome units

Allocation Request: 4,560
 Project Score: 1

- Developments
- Parcels
- Rivers
- Concord
- Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Skybrook Corners Expansion			
	2.)	Description of project location:	Southwest corner of Huttersville-Concord Road(SR 2426) and Poplar Tent Road (SR 2424) <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>			
	3.)	Cabarrus County Parcel Identification Number:	4671731210000 & 46717396200000	3a.)	Parcel Acreage:	3.108 & 7.01
	4.)	Site Zoning and use:	RV-CD	5.)	Area Commercial or Industrial Building	(sq. ft.)
	6a.)	Description of Facility to be served:	residential townhomes	6b.) Number of Lots		6c.) Number of Units 19
	7d.)	Additional description information:	this application is for the addition of 19 townhome units to an existing permitted project			
	B. Applicant Information	Brian Pace		Manager		6719-C Fairview Road
<small>(Name of legal owner, board, council, and/or authorized official with title: as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Title)</small>		<small>(Applicant's Street or Box Number)</small>		
Skybrook, LLC		Charlotte, NC 28210		704-365-5506		
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>		<small>(Applicant's Facsimile Number)</small>		
704-365-1208		bpace@pacedevelop.com		704-365-5506		
<small>(Applicant's Phone Number)</small>		<small>(Applicant's Email Address)</small>		<small>(Applicant's Facsimile Number)</small>		
Brian Pace, Manager		<small>(Name)</small>	bpace@pacedevelop.com	<small>(Email)</small>	bpace@pacedevelop.com	
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>				
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Steven S. Wilson		Landworks Design Group, P.A.		1230 W. Morehead, Ste 304	
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>		<small>(Street or Box Number)</small>	
	15497		Charlotte, NC 28208		704-841-1604	
	<small>(NCPE Registration Number)</small>		<small>(City, State, Zip Code)</small>		<small>(Phone Number)</small>	
	Steven S. Wilson and Landworks Design Group		swilson@landworkspa.com		704-841-1604	
	<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>		<small>(Phone Number)</small>	

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input checked="" type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 4560 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Residential	80 gal/ bedX3bed/unit	19	GPD 4560
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, Brian Pace, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Brian Stephen Pace Digitally signed by Brian Stephen Pace
 Date: 2022.07.22 15:55:01 -04'00'

Signature: _____ Date: **1-19-2023**



January 19, 2023

Honorable William C. Dusch & Concord City Council
35 Cabarrus Ave W,
Concord, NC 28025

Dear Mayor Dusch & City Council Members,

Please allow this letter to serve as a narrative regarding our project's request for sewer capacity within the City of Concord. Below is a list of all the pertinent information for our project:

- Project Name: Skybrook Corners Phase 2; Parcel IDs: 46717306200000 & 46717312110000
- Accela #: PRS2021-01595
- Project Owner: Skybrook, LLC (Developer)
- Project Location: Corner of Huntersville-Concord Road and Poplar Tent Road
- Project Zoning & Annexation: CD-RV and currently annexed into the city limits
- Project Use & Density: 71 Townhome Units on 10.46 AC (6.78 DUA)
- Project Open Space: 22.3% (2.34 AC)
- Projected Price Point: Starting in the \$300,000s
- **Note: 52 units received approval for sewer allocation on March 22, 2022.**
- **Note: This request is for 19 units (5 for Skybrook Corners & 14 for the Stinson Extension).**

Since 1998, the Skybrook Development team has had the honor in partnering with our local municipalities and creating over 2,000 homes and an 18-hole golf course on 960 acres within Cabarrus County, the Town of Huntersville and the City of Concord. Our goal in developing our communities is to be able to provide a high quality and affordable home for all buyers. We have successfully integrated a high-end product which includes apartments, townhomes and single-family dwellings across all three of our Skybrook communities. We are proud to have worked side by side with city officials in incorporating all elements of design that have made our communities an asset for years to come. In an effort to extend this vision, on October 27, 2020 we formally submitted a new phase of Skybrook to the City of Concord called the Skybrook Corners. This project is an infill development which will complete and connect two existing public streets from two surrounding sides of the Parkside at Skybrook North community. Given that this project is up for capacity review, I want to share with you a brief summary of all the work that has been accomplished and completed to date:

- On October 10, 2006 our development team purchased this property and has maintained ownership through present day.
- On December 31, 2011 the property was annexed into the City of Concord.
- On January 17, 2012 the property was rezoned from County Low Density Residential (LDR) to Concord Residential Village (RV).
- On November 12, 2020 we received annexation and rezoning approval from City Council for the Stinson Right of Way which allowed us to construct the public street connecting the Parkside community.
- On February 10, 2021 we obtained preliminary plat approval from the City of Concord.
- On May 3, 2021 we received sedimentation, erosion control and grading approvals from the NCDEQ.
- On May 26, 2021 we submitted construction drawings for approval.
- On July 1, 2021 we started on-site construction through installation of our erosion control measures including the temporary sediment basin.

- On September 30, 2021 we received approval on the traffic signal plans from NCDOT.
- On October 1, 2021 we received approval on all NCDOT encroachment agreements.
- On October 8, 2021 all construction drawing plan review comments have been addressed pending utility permits including WSACC acceptance.
- On October 14, 2021 water and sewer plans were submitted to WSACC.
- On October 27, 2021 the City of Concord issued the Acknowledgment and Acceptance of Risk letter stipulating WSACC's sewer capacity limitation within the county.
- On November 22, 2021 we received approval on our Early Grading Permit.
- On March 22, 2022 we received approval for sewer allocation for 52 townhome units.
- On June 1, 2022, we started installing our storm drainage pipes and site grading.
- On October 1, 2022, we are finalizing grading, installing utilities, and are anticipating roadway completion by Spring 2023.
- On March 15, 2023, we are anticipating installation all the of roadways with completion by May 1, 2023.

Our plan is to begin home building after road installation with home occupancy taking place in the third quarter of 2023. Skybrook Corners is our 4th townhome project incorporated within our three Skybrook communities, which will provide affordability that complements our existing single-family homes. Although these homes will be owned by individual families, our plan is to provide full HOA maintenance of the home's exteriors and yards in an effort to ensure a professional level of maintenance is provided at all times.

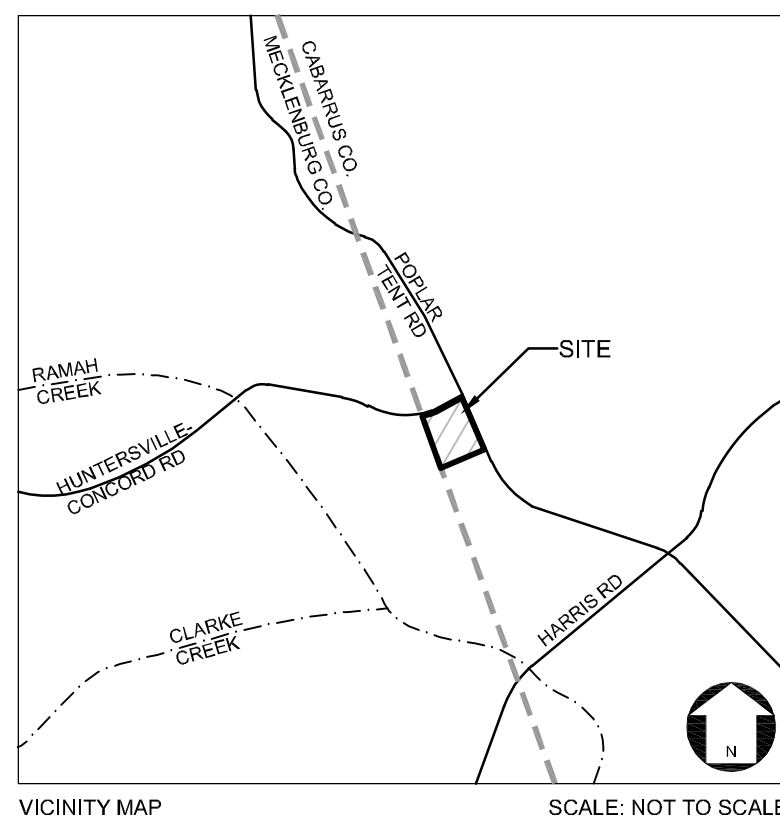
As far as home product, our builder is planning on offering five different floorplans with top quality features such as granite countertops in the kitchen and baths, tile backsplash in the kitchen, stainless steel appliances and Revwood tile and stain resistant flooring. In addition to elegance, our townhomes will also provide efficiency features that contribute to energy savings and water conservation. Our HardiePlank siding resists damage from wind, rain, freezing temps and extreme heat better than your typical vinyl siding; low flow faucets and toilets along with Energy Star rated dishwashers will assist in water conservation; LED lighting will be used throughout our homes which can produce light up to 85% more efficiently than conventional incandescent bulbs and Low E double pane windows will be provided to help reduce heat intrusion into our homes. As with all of our Skybrook communities, Skybrook Corners will have the opportunity to enjoy resort style Swim & Racquet Club amenities in addition to walking trails, ballfields, and playgrounds.

We are extremely thankful for all the effort and time that staff and city council has provided during our reviews. We look forward to completing this project and respectfully request that you grant sewer capacity for 19 additional units so that we may complete our project as scheduled. If you have any questions or need additional information, please call me at 704.995.2507 or email me at scott@bpropnc.com. We look forward to seeing you at the city council meeting.

Sincerely,

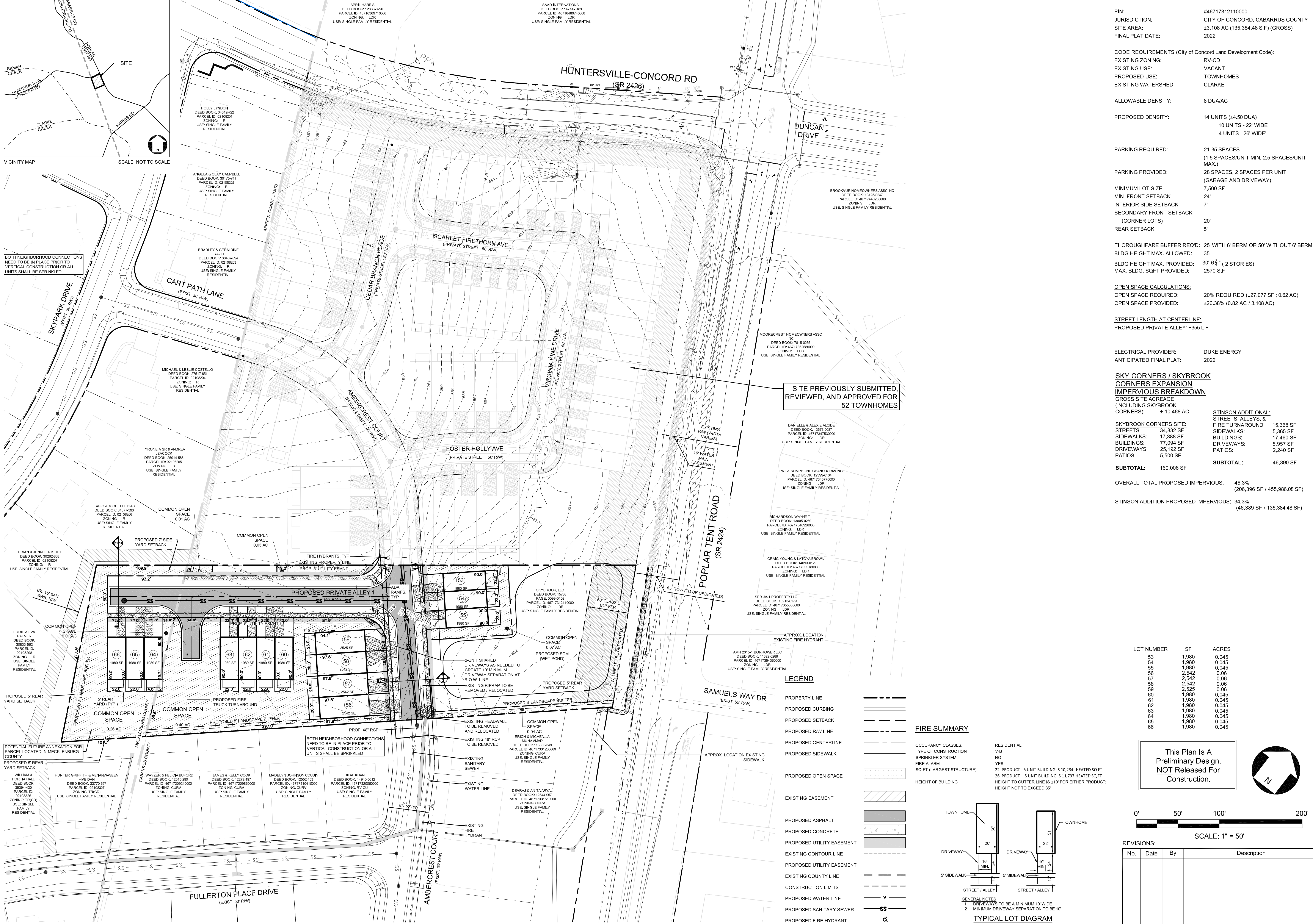


Scott Moore
Project Manager
Skybrook Subdivision



VICINITY MAP SCALE: NOT TO SCALE

BOTH NEIGHBORHOOD CONNECTIONS NEED TO BE IN PLACE PRIOR TO VERTICAL CONSTRUCTION OR ALL UNITS SHALL BE SPRINKLED



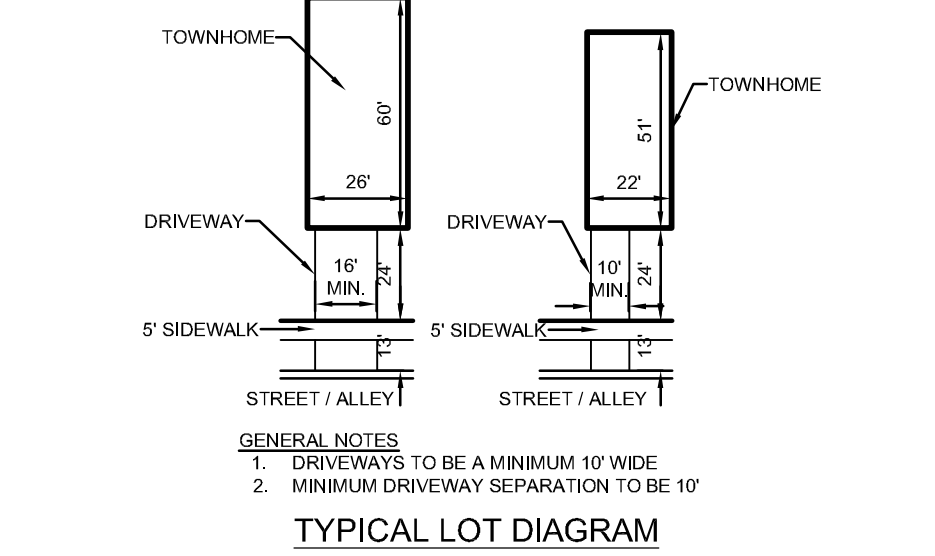
SITE PREVIOUSLY SUBMITTED, REVIEWED, AND APPROVED FOR 52 TOWNHOMES

LEGEND

- PROPERTY LINE
- PROPOSED CURBING
- PROPOSED SETBACK
- PROPOSED R/W LINE
- PROPOSED CENTERLINE
- PROPOSED SIDEWALK
- PROPOSED OPEN SPACE
- EXISTING EASEMENT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED UTILITY EASEMENT
- EXISTING CONTOUR LINE
- PROPOSED UTILITY EASEMENT
- EXISTING COUNTY LINE
- CONSTRUCTION LIMITS
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER
- PROPOSED FIRE HYDRANT

FIRE SUMMARY

OCCUPANCY CLASSES:	RESIDENTIAL
TYPE OF CONSTRUCTION	V-B
SPRINKLER SYSTEM	NO
FIRE ALARM	YES
22' PRODUCT - 6 UNIT BUILDING IS 10,234 HEATED SQ FT	
26' PRODUCT - 5 UNIT BUILDING IS 11,797 HEATED SQ FT	
HEIGHT TO GUTTER LINE IS ±19' FOR EITHER PRODUCT:	
HEIGHT NOT TO EXCEED 35'	



SITE DATA

PIN: #46717312110000
 JURISDICTION: CITY OF CONCORD, CABARRUS COUNTY
 SITE AREA: ±3.108 AC (135,384.48 S.F.) (GROSS)
 FINAL PLAT DATE: 2022

CODE REQUIREMENTS (City of Concord Land Development Code):
 EXISTING ZONING: RV-CD
 EXISTING USE: VACANT
 PROPOSED USE: TOWNHOMES
 EXISTING WATERSHED: CLARKE

ALLOWABLE DENSITY: 8 DU/A/AC
 PROPOSED DENSITY: 14 UNITS (44.50 DUA)
 10 UNITS - 22' WIDE
 4 UNITS - 26' WIDE

PARKING REQUIRED: 21-35 SPACES
 (1.5 SPACES/UNIT MIN. 2.5 SPACES/UNIT MAX.)
 PARKING PROVIDED: 28 SPACES, 2 SPACES PER UNIT
 (GARAGE AND DRIVEWAY)
 MINIMUM LOT SIZE: 7,500 SF
 MIN. FRONT SETBACK: 24'
 INTERIOR SIDE SETBACK: 7'
 SECONDARY FRONT SETBACK (CORNER LOTS): 20'
 REAR SETBACK: 5'

THOROUGHFARE BUFFER REQD: 25' WITH 6' BERM OR 50' WITHOUT 6' BERM
 BLDG HEIGHT MAX. ALLOWED: 35'
 BLDG HEIGHT MAX. PROVIDED: 30'-6 1/2" (2 STORIES)
 MAX. BLDG. SQFT PROVIDED: 2570 S.F.

OPEN SPACE CALCULATIONS:
 OPEN SPACE REQUIRED: 20% REQUIRED (±27,077 SF / 0.62 AC)
 OPEN SPACE PROVIDED: ±26.38% (0.62 AC / 3.108 AC)

STREET LENGTH AT CENTERLINE:
 PROPOSED PRIVATE ALLEY: ±355 L.F.

ELECTRICAL PROVIDER: DUKE ENERGY
 ANTICIPATED FINAL PLAT: 2022

SKY CORNERS / SKYBROOK CORNERS EXPANSION IMPERVIOUS BREAKDOWN
 GROSS SITE ACREAGE (INCLUDING SKYBROOK CORNERS): ± 10.468 AC
 SKYBROOK CORNERS SITE: 34,832 SF
 SIDEWALKS: 17,388 SF
 BUILDINGS: 77,094 SF
 DRIVEWAYS: 5,957 SF
 PATIOS: 5,500 SF
SUBTOTAL: 160,006 SF

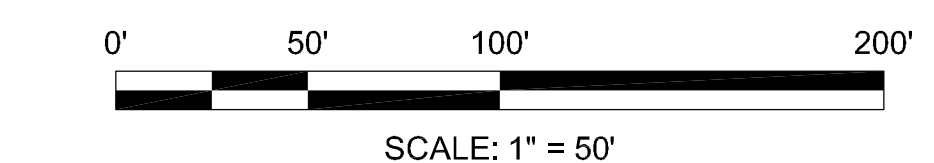
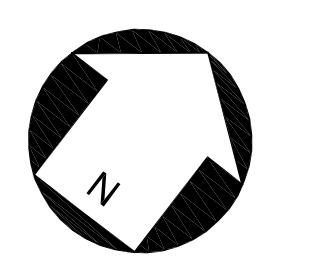
STINSON ADDITIONAL: 15,368 SF
 STREETS, ALLEYS, & FIRE TURNAROUND: 5,365 SF
 SIDEWALKS: 17,460 SF
 DRIVEWAYS: 5,957 SF
 PATIOS: 2,240 SF
SUBTOTAL: 46,390 SF

OVERALL TOTAL PROPOSED IMPERVIOUS: 45.3%
 (206,396 SF / 455,986.08 SF)

STINSON ADDITION PROPOSED IMPERVIOUS: 34.3%
 (46,389 SF / 135,384.48 SF)

LOT NUMBER	SF	ACRES
53	1,980	0.045
54	1,980	0.045
55	1,980	0.045
56	2,542	0.06
57	2,542	0.06
58	2,542	0.06
59	2,542	0.06
60	1,980	0.045
61	1,980	0.045
62	1,980	0.045
63	1,980	0.045
64	1,980	0.045
65	1,980	0.045
66	1,980	0.045

This Plan Is A Preliminary Design. NOT Released For Construction.



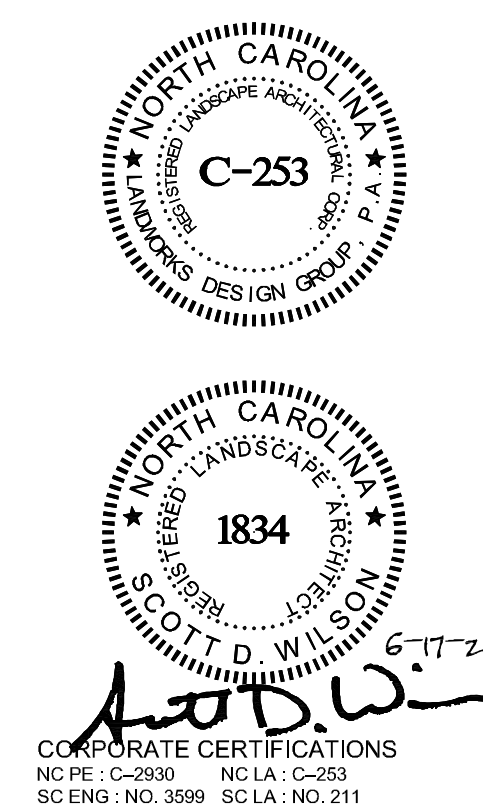
REVISIONS:

No.	Date	By	Description



PRELIMINARY PLAT
SKYBROOK CORNERS EXPANSION
 CITY OF CONCORD, CABARRUS COUNTY,
 NORTH CAROLINA
 PACE DEVELOPMENT GROUP
 CHARLOTTE, NC

PRELIMINARY PLAT



Project Manager: SDW

Drawn By: SDW

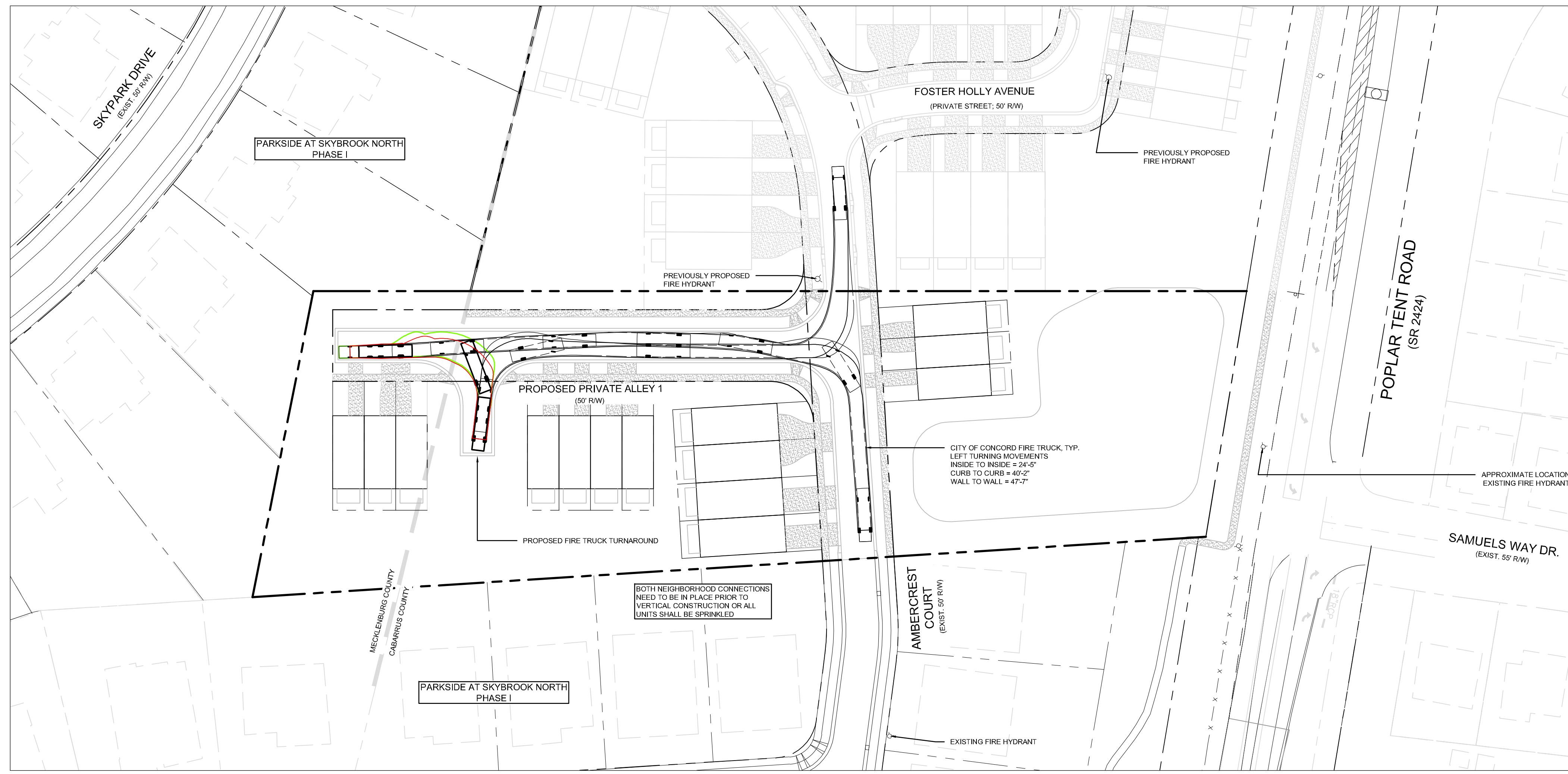
Checked By: SSW

Date: 06/17/2022

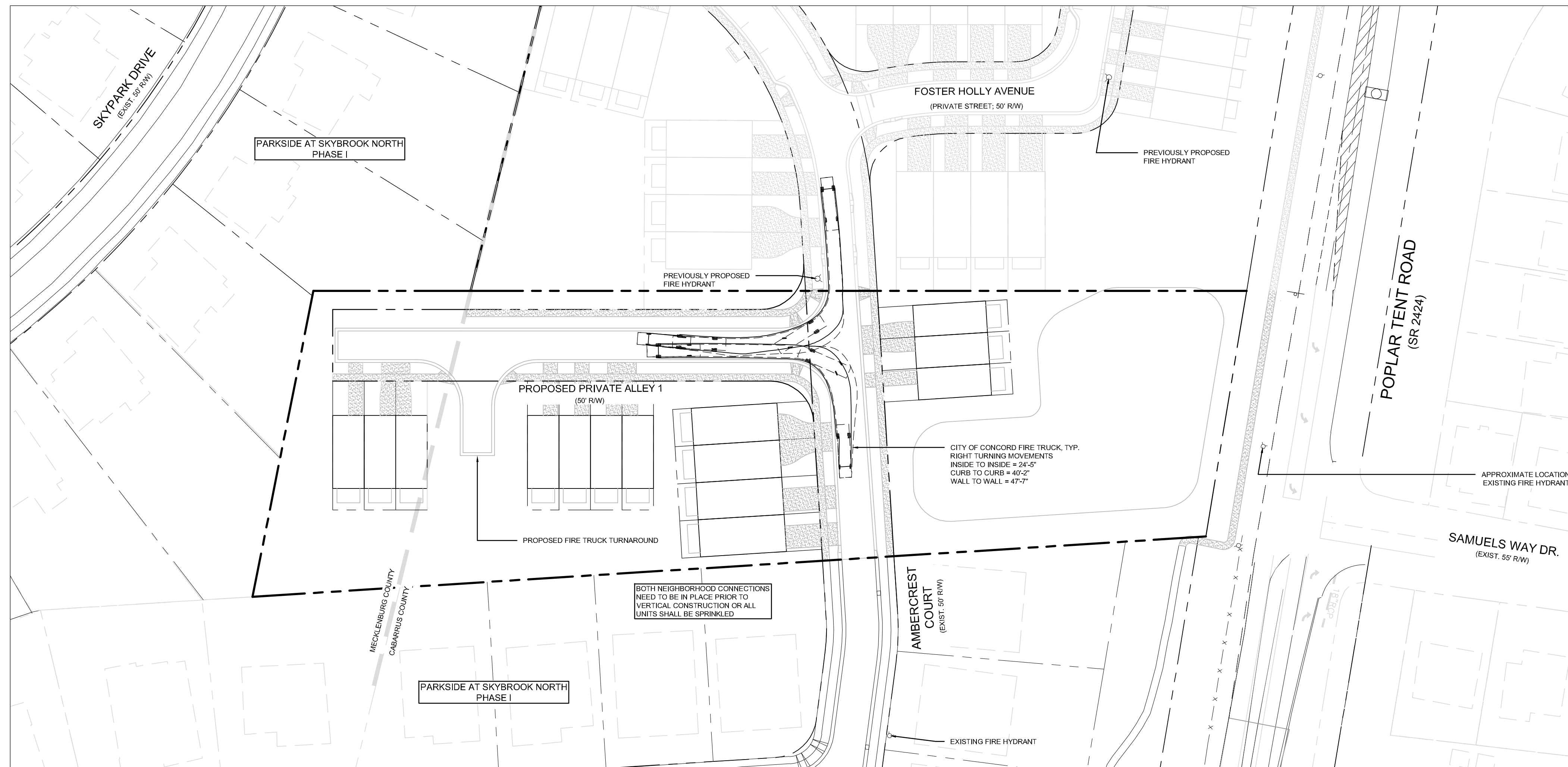
Project Number: 18018.1

Sheet Number:

L-101



COC FIRE TRUCK LEFT TURNING MOVEMENTS
SCALE: 1" = 50'



COC FIRE TRUCK RIGHT TURNING MOVEMENTS
SCALE: 1" = 50'

ENVIRONMENTAL NOTES

1. DEVELOPER WILL BE REQUIRED TO PROVIDE AN SCM ACCESS EASEMENT IN AND AROUND ANY SCMS USED FOR STORM WATER TREATMENT AND DETENTION AND EXECUTE A MAINTENANCE AGREEMENT.

GENERAL NOTES

1. DEVELOPMENT OF THIS PROJECT SHALL BE GOVERNED BY THE CONCORD DEVELOPMENT ORDINANCE (THE "CDO") AND THE CONCORD TECHNICAL STANDARDS MANUAL.
2. STORM WATER RUNOFF FROM THE PROJECT WILL BE MANAGED THROUGH PROVEN BEST MANAGEMENT PRACTICE (BMP) TECHNIQUES WHICH SATISFY THE STANDARDS IMPOSED BY THE CITY OF CONCORD AND NCEM AS OUTLINED IN THE CITY'S STORM WATER ORDINANCE. PETITIONER SHALL, UPON COMPLETION OF THE STORM WATER FACILITIES, ESTABLISH AN ENTITY OR ASSOCIATION TO MAINTAIN OR CAUSED TO BE MAINTAINED SAID FACILITIES AS REQUIRED BY THE CITY.
3. UTILITY SERVICES, ADA RAMPS AND CATCH BASINS/TRANSITIONS ARE NOT ALLOWED WITHIN DRIVEWAYS.
4. NO OBJECTS MORE THAN 2' TALL ALLOWED WITHIN SIGHT TRIANGLES.
5. IN ACCORDANCE WITH CDO SECTION 7.6.1 - UNCOVERED, ENCLOSED DECKS, TERRACES, STOOPS, OR PORCHES SHALL NOT ENCRoACH CLOSER THAN 5 FT TOWARD THE PROPERTY LINE.
6. OPEN SPACE SHALL BE MANAGED BY THE HOA.

FIRE NOTES

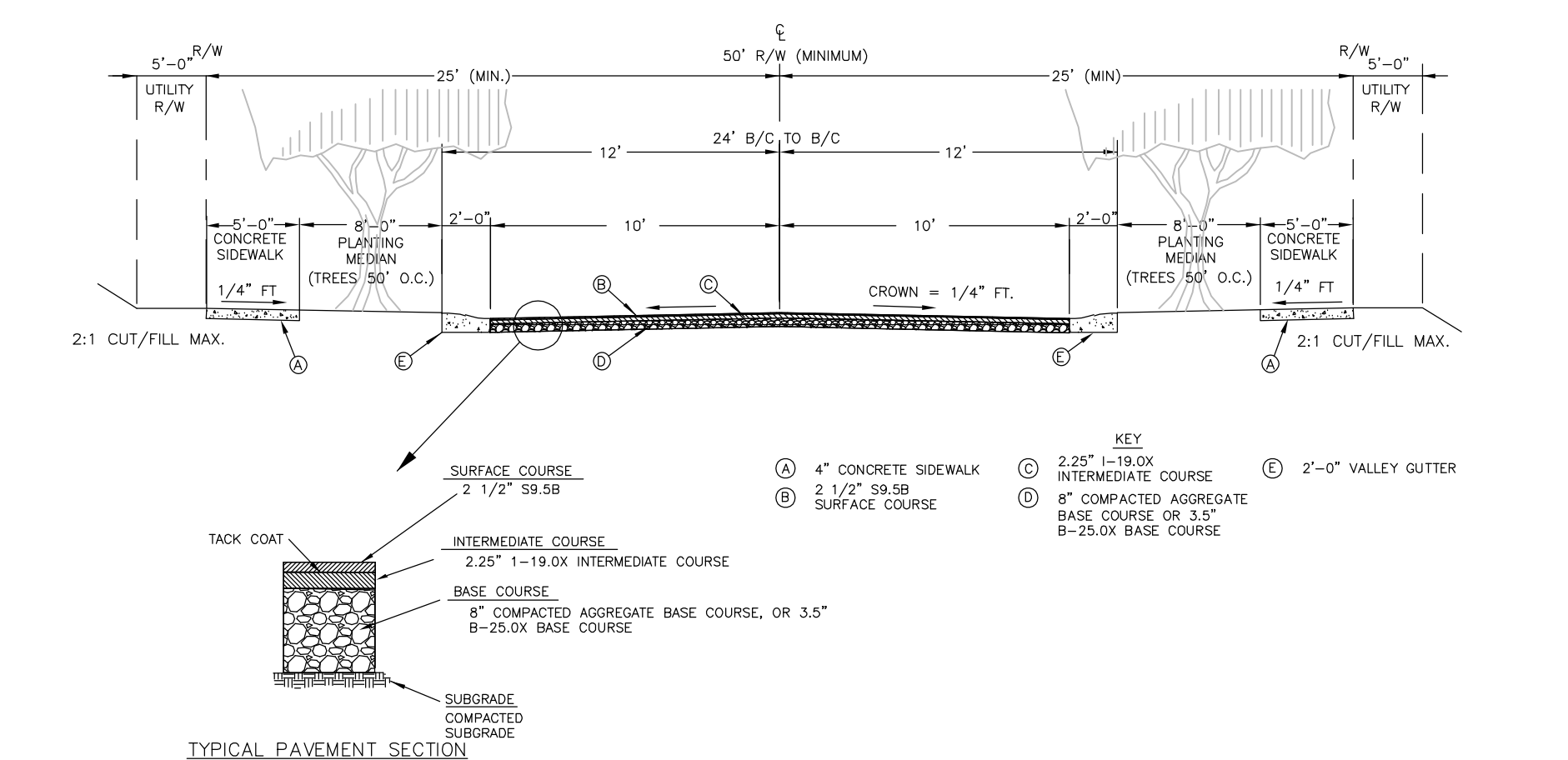
1. TIMING OF INSTALLATION, WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO THE TIME OF CONSTRUCTION. (NCFC 501.4)
2. APPROVED FIRE APPARATUS ACCESS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING, OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO THE JURISDICTION. ACCESS SHALL BE PROVIDED TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR OF THE BUILDING AS MEASURED BY AN APPROVAL ROUTE AROUND THE EXTERIOR OF THE BUILDING. (NCFC 503.1.1)
3. ACCESS ROADS ARE REQUIRED TO BE 20 FEET WIDE MEASURED EDGE OF PAVEMENT TO EDGE OF PAVEMENT AND 28 FEET WIDE IF THE BUILDING HEIGHT IS GREATER THAN 30 FEET. (NCFC 503.2.1)
4. THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE MORE THAN ONE FIRE APPARATUS ACCESS ROAD BASED ON THE POTENTIAL FOR IMPAIRMENT OF A SINGLE ROAD BY VEHICLE CONGESTION, CONDITION OF TERRAIN/CLIMATIC CONDITIONS, OR OTHER FACTORS THAT COULD LIMIT ACCESS. (NCFC 503.1.2)
5. FIRE HYDRANTS SHALL BE PROVIDED WITH A TRAVEL DISTANCE AS DETERMINED BY APPENDIX C TABLE C105.1 (NCFC TABLE C105.1) NOTE: DISTANCE VARIES BASED UPON NEEDED FIRE FLOW.
6. FIRE HYDRANTS SHALL BE PLACED NOT GREATER THAN 200 FEET FROM THE END OF EACH CUL DE SAC. (NCFC TABLE C105.1)
7. WATER MAINS AND HYDRANTS INSTALLED SHALL BE DESIGNED FOR FLOW AND DURATION AS REQUIRED IN APPENDIX C TABLE C105.1 (NCFC)
8. MINIMUM FIRE FLOW IS 1,000 GPM @ 80 PSI FOR DWELLINGS LESS THAN 3,600 S.F. FOR DWELLINGS OVER 3,600 S.F. THE REQUIRED FIRE FLOW IS TO BE BASED ON TABLE B105.1 WITH A MINIMUM OF 1,500 GPM @ 20 PSI (NCFC APPENDIX B)
9. ONE OR TWO FAMILY RESIDENTIAL DEVELOPMENTS, DEVELOPMENTS WHERE THE NUMBER OF DWELLING UNITS EXCEEDS 30 SHALL BE PROVIDED WITH SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS AND SHALL MEET THE REQUIREMENTS OF D104.3 (NCFC D107.1)
10. MULTI-FAMILY RESIDENTIAL DEVELOPMENTS HAVING MORE THAN 100 DWELLING UNITS SHALL BE EQUIPPED THROUGHOUT WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS. PROJECTS EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS MAY HAVE ONE ENTRANCE UP TO 200 UNITS AND ABOVE 200 MUST HAVE A SECOND REMOTE ENTRANCE. (NCFC D106.1 AND D106.2)
11. THE REQUIRED TURNING RADIUS OF THE FIRE APPARATUS ACCESS ROAD SHALL BE 42 FEET. (NCFC D103.3)
12. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE. (NCFC D103.2)
13. WHERE TWO ACCESS ROADS ARE REQUIRED, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE PROPERTY OR AREA TO BE SERVED, MEASURED IN A STRAIGHT LINE BETWEEN ACCESSES. (NCFC D104.3)

NOTES

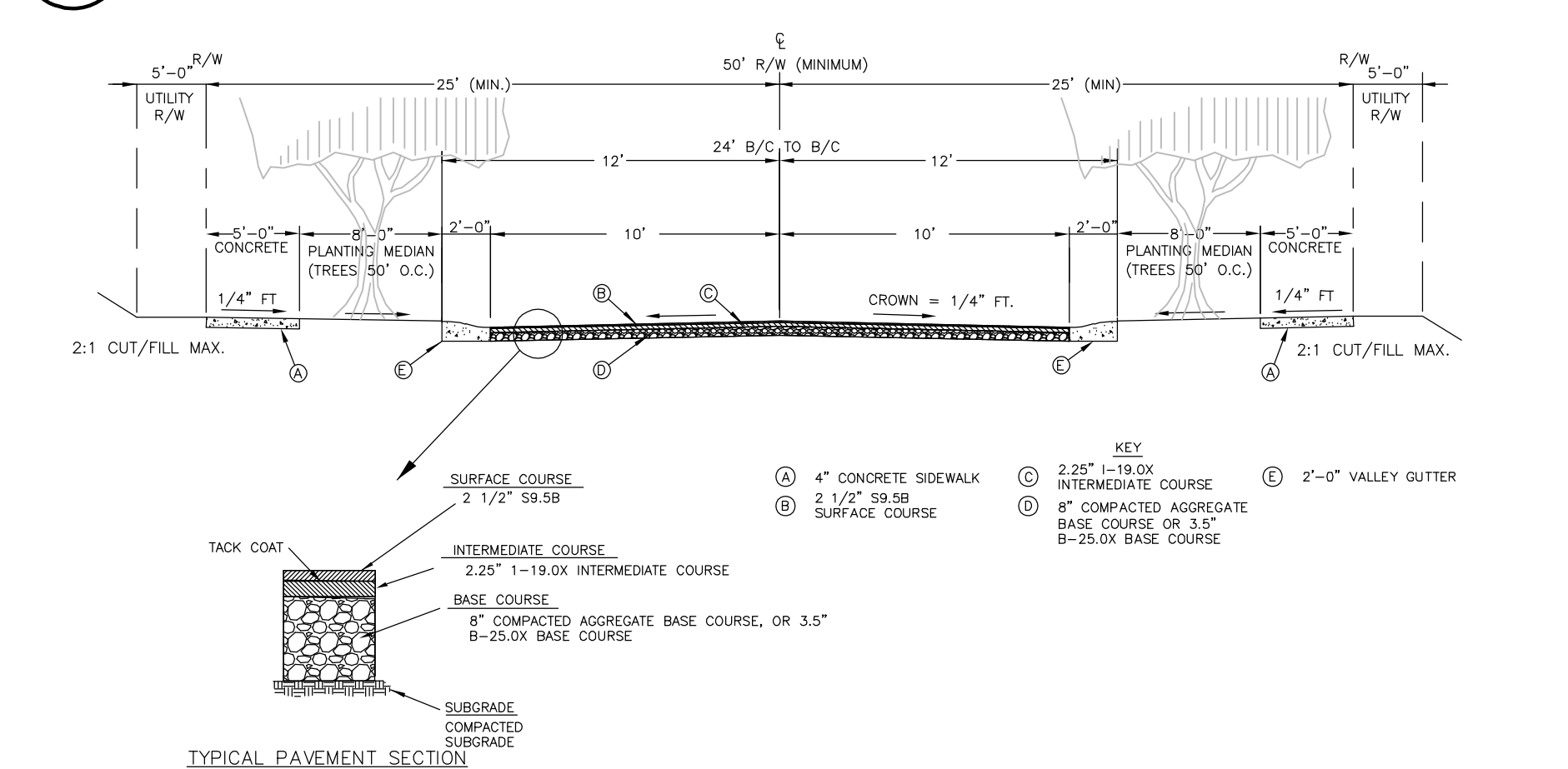
1. ANY DEVELOPMENT WITHIN THE FLOODPLAIN MUST FOLLOW ARTICLE 4 - SECTION 4.7 OF THE CITY DEVELOPMENT ORDINANCE.
2. A SIGNED MAINTENANCE AGREEMENT WITH DEVELOPER / HOA FOR UPKEEP OF FIRE ACCESS ROAD SHALL BE IN PLACE.
3. SCMS ARE COUNTED AS OPEN SPACE AND ARE SUBJECT TO CDO SECTION 10.5.4.

ADDITIONAL SITE NOTES

1. ALL DRAINAGE STRUCTURES WITHIN ROADWAY REQUIRED TO BE TRAFFIC RATED WITH THE USE OF 2.5' STANDARD CURB AND GUTTER OR 2.0' VALLEY CURB.

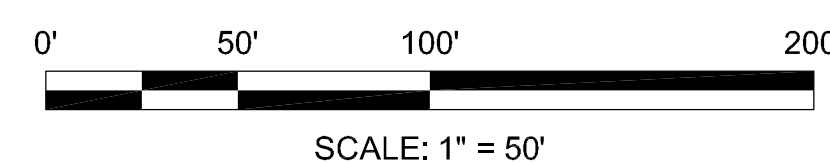
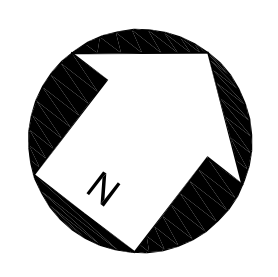


1 TYPICAL PUBLIC STREET CROSS SECTION (CART PATH LANE ROAD EXTENSION)
SCALE: NOT TO SCALE



2 TYPICAL PRIVATE STREET CROSS SECTION
SCALE: NOT TO SCALE

This Plan Is A Preliminary Design. NOT Released For Construction.



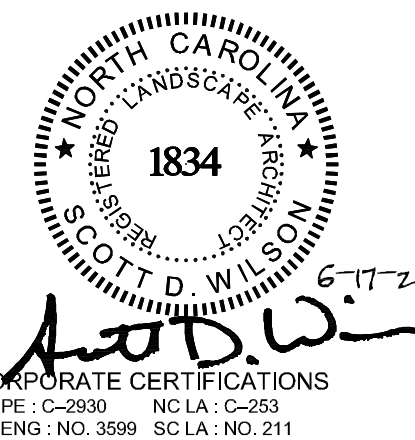
SCALE: 1" = 50'

LEGEND

- PROPERTY LINE
- PROPOSED CURBING
- PROPOSED R/W LINE
- EXISTING COUNTY LINE
- PROPOSED FIRE HYDRANT

REVISIONS:

No.	Date	By	Description



Project Manager: SDW

Drawn By: SDW

Checked By: SSW

Date: 06/17/2022

Project Number: 18018.1

Sheet Number:

L-102

Residential: Single Family Attached (Townhomes)

Ervin Property (CN-PSA-2023-00027)

750 Old Charlotte Rd. SW

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
6/24/2021	Yes	81	No	No	Yes	Yes	Yes	No

Allocation Request

Total	2023	2024
16,720	12,000	4,720

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	0	0	0	1	0	3

Brief Summary

The applicant is proposing 81 units at 750 Old Charlotte Rd. The site is already zoned Residential Compact (RC), so the development can proceed by right. The preliminary plat for the site was approved, pending payment on April 5, 2022. The fees were paid and was issued. The property is within the boundaries of the Center City Plan.



CN-PSA-2023-00027

Ervin Property-Townhomes






Type: Residential

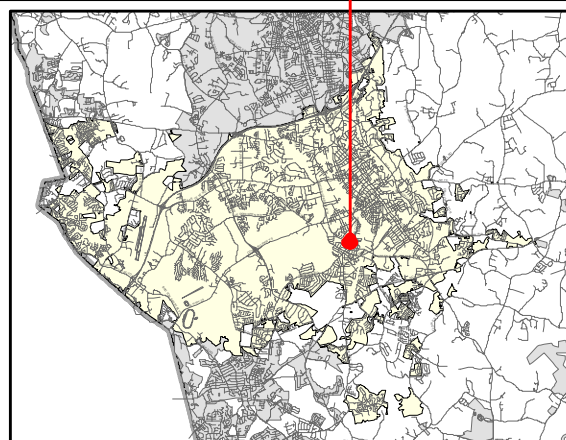
SF Attached

81 townhome units

Allocation Request: 16,720

Project Score: 3

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Ervin Property - Townhomes			
	2.)	Description of project location:	Site located on Old Charlotte Rd (SR 1335) approx 400 linear feet north of Warren C Coleman Blvd S (US Hwy 601) <small>(Example: Site located on (Road name) SR ####, approx ### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)</small>			
	3.)	Cabarrus County Parcel Identification Number:	5529497904, 5620405037	3a.)	Parcel Acreage:	13.07
	4.)	Site Zoning and use:	RC, Residential	5.)	Area Commercial or Industrial Building	(sq. ft.)
	6a.)	Description of Facility to be served:	Townhomes	6b.) Number of Lots	81	6c.) Number of Units
	7d.)	Additional description information:	Proposed 81 townhomes, mix of 2 & 3 bedrooms units			
	7c.)				81	
B. Applicant Information	David Hughes		Manager		236 Raceway Dr, Suite 7	
	<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>				<small>(Applicant's Street or Box Number)</small>	
	Nest Communities, LLC		Mooresville, NC 28117			
	<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>				<small>(Applicant's City, State, Zip Code)</small>	
	704-787-5622		(Applicant's Facsimile Number)			
	<small>(Applicant's Phone Number)</small>				<small>(Applicant's Email Address)</small>	
	David Hughes		(Name)	dhughes@nestcommunities.com	(Email)	dhughes@nestcommunities.com
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>				<small>(Applicant's Email Address)</small>		
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Josh Butler		Gateway Design Group, PLLC			
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>			
	048418		15126 Castlebridge Lane			
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>			
	910-840-2661		Matthews, NC 28104			
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>			
	Josh Butler		josh@gatewaydesigngroup.com			
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>				

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input checked="" type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 16,720.00 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114
a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.
(Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
Residential Townhomes (3 Bedrooms)	240	gal/ day	47	GPD	11,280
Residential Townhomes (2 Bedrooms)	160	gal/ day	34	GPD	5,440
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
			Total	GPD	16,720

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, David Hughes, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

David Hughes
Signature:

1-20-23
Date:



January 19, 2023

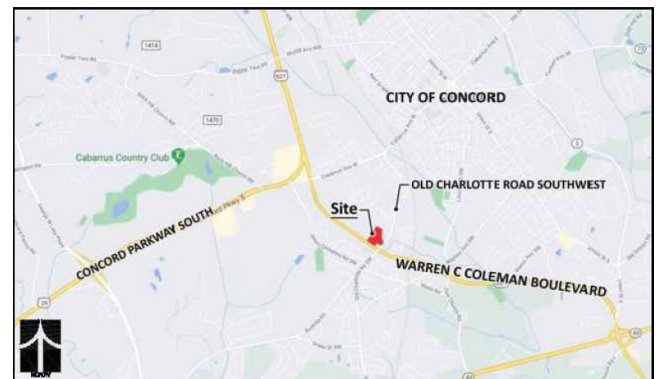
City Council
City of Concord
35 Cabarrus Ave W
Concord North Carolina 28025

Reference: Project Narrative for Preliminary Wastewater Flow Application
Ervin Property – Townhomes, PIN 5529497904, 5620405037

Dear Council Members and Staff:

In accordance with the City of Concord's preliminary wastewater flow allocation policy, this letter serves as the project narrative.

The property/development is located within the existing City of Concord limits on a 13-acre parcel in the northwest quadrant of the intersection of Warren C. Coleman Boulevard South (US Hwy 601) and Old Charlotte Road (SR 1335). There is an existing Circle K gas station at the intersection of Warren C. Coleman Boulevard South (US Hwy 601) and Old Charlotte Road (SR 1335) that is not associated with this project. In addition, there is existing sewer main on Old Charlotte Rd that will serve to benefit the project.



The proposed Ervin Property Townhomes development will consist of 81 two-story townhomes. The residences will be built with energy efficient materials and comprised of a mix of two and three-bedrooms with two and a half baths. Each home will include either an attached front load or rear-entry garage served by an alley street. The townhomes will provide a mixture of housing opportunities with values beginning in the three-hundred-thousand-dollar range.

Nest will build our highest energy efficient homes which include the latest technology and green building materials available in our market which includes the following features:

- Energy Star Rated appliances including the kitchen appliances and water heater, HVAC
- Honeywell smart thermostats with Zwave technology
- Freon Free Air Conditioning
- Low flow Toilets at 1.6 gallons vs the 3-gallon older models
- Bermuda grass which requires less water, fertilization, and maintenance

- Energy Star Rated LED interior lighting
- Double Pane Low-E windows

The Ervin Property will also include a pedestrian-friendly streetscape, sidewalks and planted medians on both sides of the internal roadway network AND along the frontage of Warren C. Coleman Boulevard South (US Hwy 601) and Old Charlotte Road (SR 1335). We are also promoting an active, safe lifestyle by providing bike lanes on one side of the internal roadways with on-street parking provided on the opposing side.

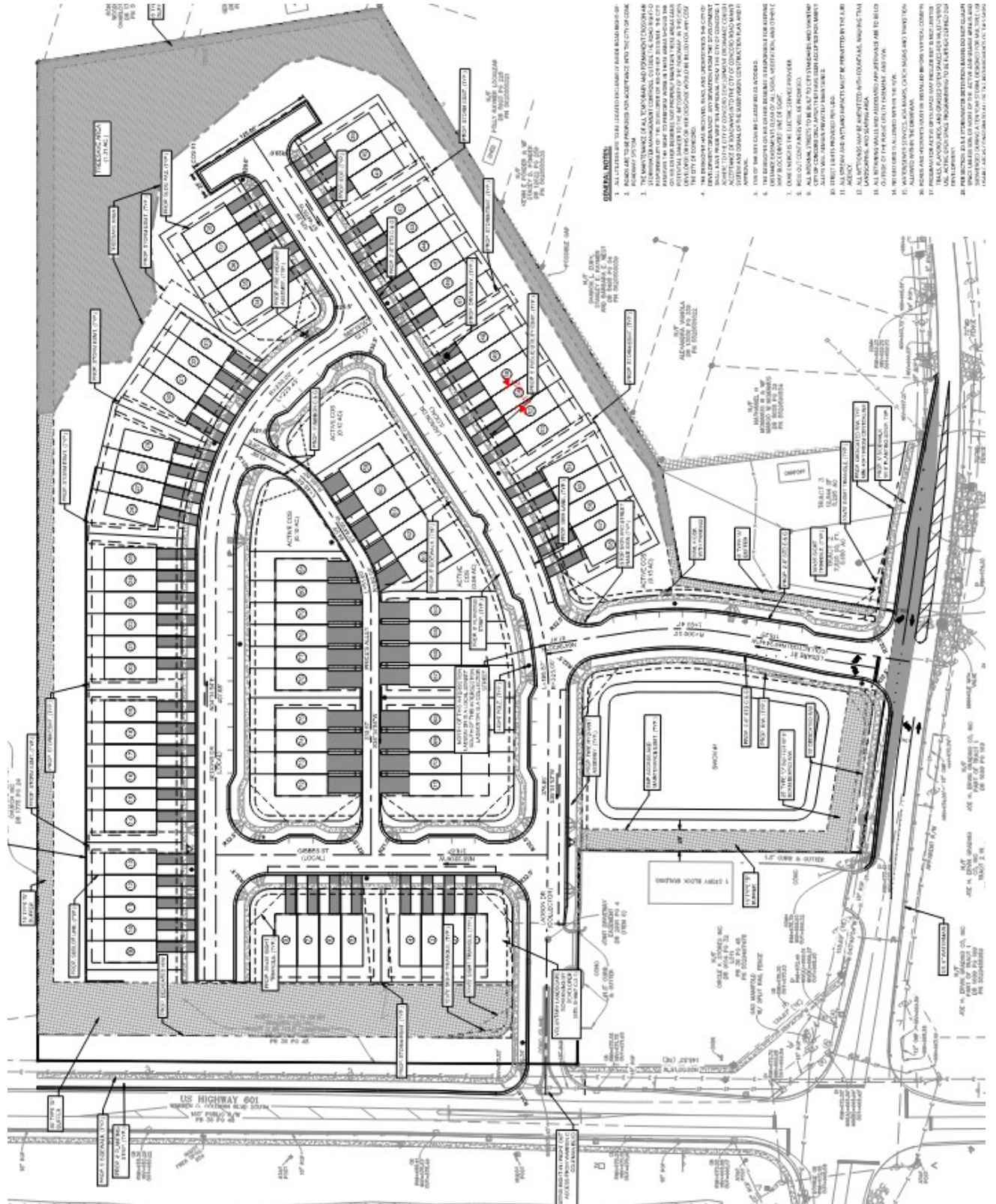
We at Nest Homes hope you find the revisions to our plans make it a truly viable project for the community. The changes include reducing the overall flow request by introducing a mix of 2- and 3-bedroom plans (was 19,440 now 16,720 GPD) and introducing our highly energy efficient house plan features.

Sincerely,

Dave Hughes
Nest Communities, LLC
p 704-787-5622
Dhughes@nestcommunities.com

Ervin Townhomes

Proposed Site Plan



GENERAL NOTES:

1. ALL UTILITIES ARE TO BE LOCATED IN ACCORDANCE WITH THE CITY OF CHERRY HILLS UTILITIES DEPARTMENT RECORDS.
2. RECORDS ARE TO BE PROVIDED FOR REFERENCE INTO THE CITY OF CHERRY HILLS UTILITIES DEPARTMENT RECORDS.
3. THE PROPERTY IS TO BE DEVELOPED IN ACCORDANCE WITH THE CITY OF CHERRY HILLS ZONING ORDINANCES AND THE CITY OF CHERRY HILLS SUBDIVISION ORDINANCES.
4. THE CITY OF CHERRY HILLS ENGINEERING DEPARTMENT HAS REVIEWED THE PLAN AND HAS APPROVED THE PLAN FOR THE CITY OF CHERRY HILLS.
5. THE CITY OF CHERRY HILLS ENGINEERING DEPARTMENT HAS REVIEWED THE PLAN AND HAS APPROVED THE PLAN FOR THE CITY OF CHERRY HILLS.
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20. THE CITY OF CHERRY HILLS ENGINEERING DEPARTMENT HAS REVIEWED THE PLAN AND HAS APPROVED THE PLAN FOR THE CITY OF CHERRY HILLS.

Residential: Single Family Attached (Townhomes)

502 Urban Dr. Single Family Attached (CN-PSA-2023-00029)

502 Urban Dr.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
10/27/2022	Yes	6	No	No	No	No	No	No

Allocation Request

Total	2023
1,440	1,440

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	0	0	1	0	2

Brief Summary

The applicant has submitted a proposal to build two triplexes for a total of 6 units. The project would be infill and is surrounded by single family homes.



CN-PSA-2023-00029

502 Urban Dr Single Family Attached






Type: Residential

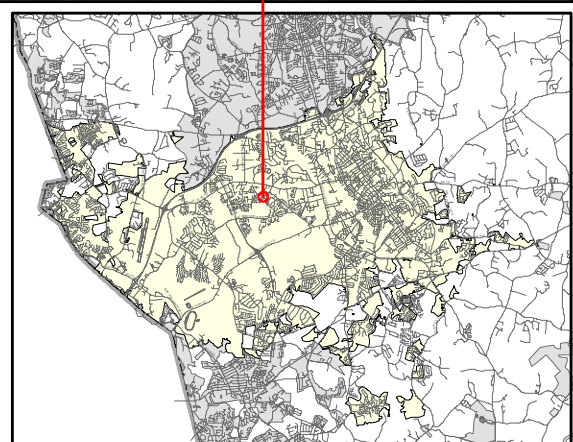
SF Attached

6 townhome units

Allocation Request: 1,440

Project Score: 2

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	502 URBAN DR SINGLE FAMILY ATTACHED				
	2.)	Description of project location:	URBAN DR NW, JUST NORTH OF INTERSECTION w/ ALLEGHANY DR NW <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)</small>				
	3.)	Cabarrus County Parcel Identification Number:	5G10-07-1583 5G10-07-2631	3a.)	Parcel Acreage:	0.69 ACRES	
	4.)	Site Zoning and use:	RC - RESIDENTIAL	5.)	Area Commercial or Industrial Building	(sq. ft.) N/A	
	6a.)	Description of Facility to be served.	TWO TRIPLEXES	6b.) Number of Lots	6	6c.) Number of Units	6
	7d.)	Additional description information:	EXISTING SFR HOMES ON EACH LOT				

B. Applicant Information	DOYIN OGUNYOMI (Title)		646 CENTRAL DR. NW	
	<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>	
	ALL GOODNESS ENTERPRISES LLC		CONCORD, NC, 28027	
	<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>	
	(704) 777-8792			
<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>		
KATE UNDERWOOD (Name)		KATEUNDERWOOD@CESICGS.COM (Email)		
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>		

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available	CATHERINE W. UNDERWOOD		CESI	
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>	
	033470		P.O. BOX 268, 60	
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>	
	(980) 234-7500		CONCORD, NC, 28026-0268	
<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>		
KATE UNDERWOOD - ENGINEER		KATE UNDERWOOD@CESICGS.COM		
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>		

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input checked="" type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 1,440 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
SINGLE FAMILY ATTACHED	80 gal/ BEDROOM x	3 BEDROOM x	GPD 1,440
	gal/	36 UNITS	GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1,440

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I Lalwicans Ogunyan, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: [Signature] Date: 01/23/23

January 23, 2023



City of Concord City Council
Concord, NC, 28025

To the City of Concord City Council,

We are asking for preliminary sanitary sewer allocation for an infill development that contains 2 triplexes. This site is located on parcel numbers 5610-07-1583 & 5610-07-2631. This project is an infill project surrounded by established single family developments and is approximately one mile from the West Cabarrus High School. We are requesting 1,440 GPD to be allocated to this project to serve the proposed 2 triplexes.

This project would enhance the overall goals of the City Council and provide more lovely living areas for residents. We would greatly appreciate your approval for this project to move forward.

If any information or questions need to be answered, please feel free to call me.

Thank you for your time.

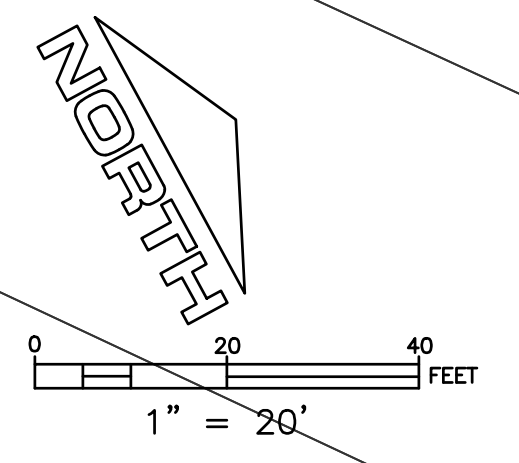
A handwritten signature in black ink, appearing to read 'Alex McGinnis', is written over a light blue horizontal line.

Alex McGinnis, EI
704-791-8939



URBAN DRIVE NW (EXISTING ROW 30 FT ROW)
PROPOSED ROW 54 FT

5' CONCRETE SIDEWALK



North Carolina One-Call Center
 2 DAYS BEFORE DIGGING IN
 CALL 1-800-637-4949
 UNDEGROUND LOCATIONS
 CONTRACTORS SHALL CONTACT
 EVERY 10 DAYS FOR AN UPDATE
 TO UTILITY LOCATIONS.
 Call BEFORE you DIG!
 "It's The Law"

REVISION	DATE	DESCRIPTION

502 URBAN DRIVE SF ATTACHED
 SITE LAYOUT PLAN
 502/170 URBAN DR. NW, CONCORD, NC
 ALL GOODNESS ENTERPRISES LLC, DOTIN OOUNYAMI
 PROJECT NO. 230052.000
 DRAWN BY: KWU
 CHECKED BY: NUB
 PROJECT START: 1/23/23
 PROJECT MANAGER: KWU
 APPROVED BY: KWU

CESI CIVIL
 GEOTECHNICAL
 SURVEYING
 PO BOX 268
 CONCORD, NC 28026-0268
 P. 704.786.5404
 F. 704.786.7454
 www.cesieng.com
 NCBELS CORP. NO. C-0263
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ENGINEERS SEAL
 PRELIMINARY NOT
 FOR CONSTRUCTION
 01/23/2023

C200

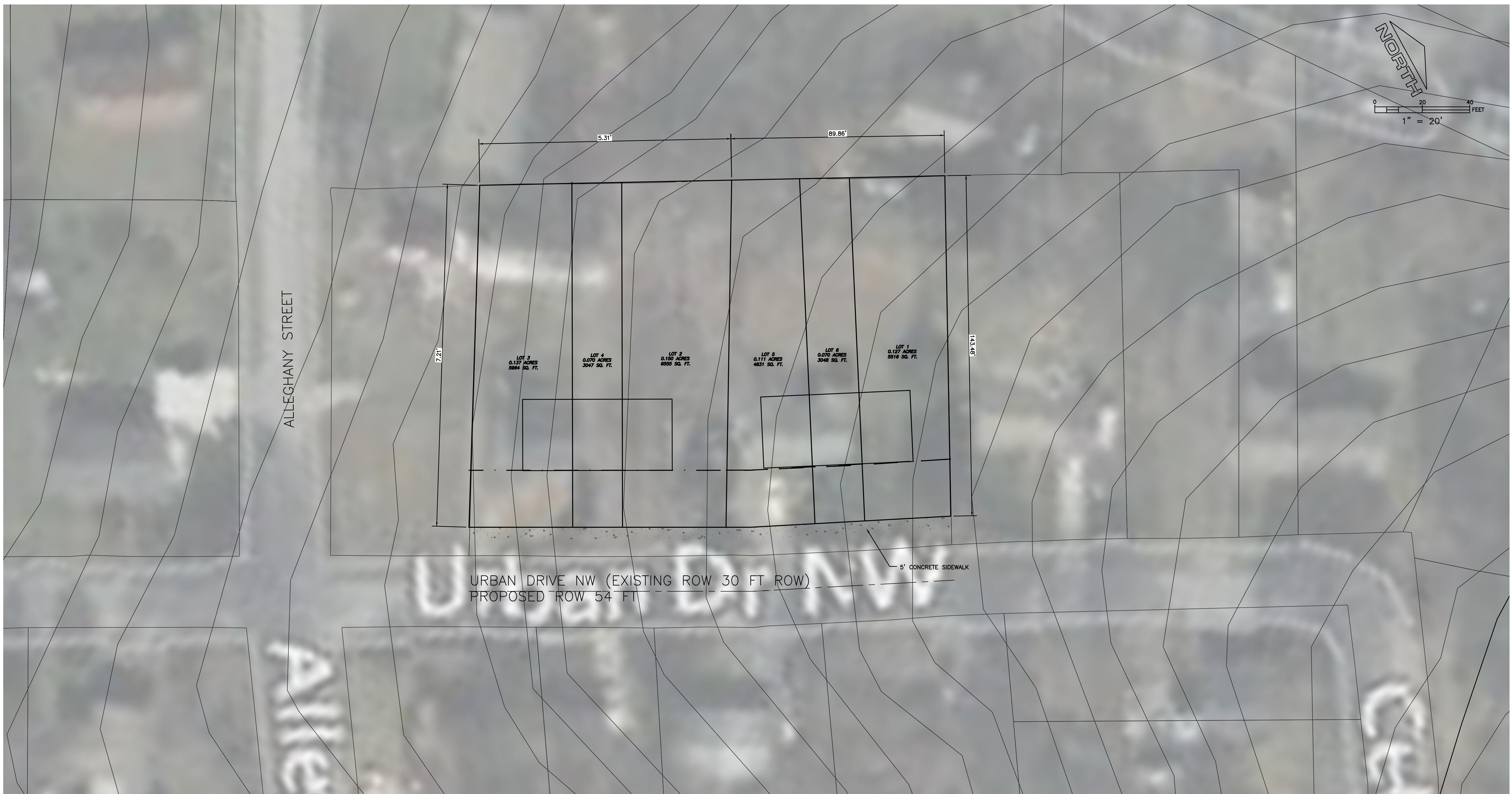
EXISTING LOTS:
 5610-07-1583 AND 5610-07-2631
 ZONING RC

EXISTING LOT #1: 0.37 ACRES
 EXISTING LOT #2: 0.32 ACRES

TOTAL PROPOSED LOTS: 6, 2 TRIPLEXES

EACH LOT TO HAVE ITS OWN 2-CAR
 DRIVEWAY

PROJECT NOT ANTICIPATED TO TRIP THE
 REQUIREMENTS FOR WATER QUALITY,
 DETENTION, OR EROSION CONTROL
 PERMITTING



North Carolina One-Call Center
CALL 1-800-637-4949
CONTRACTORS SHALL CONTACT EVERY UTILITY FOR AN UPDATE TO UTILITIES BEFORE DIGGING.
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REVISION	DATE	DESCRIPTION

502 URBAN DRIVE SF ATTACHED
SITE LAYOUT PLAN
502/170 URBAN DR. NW, CONCORD, NC
ALL GOODNESS ENTERPRISES LLC, DOTIN OOUNYAMI
PROJECT NO. 230052.000
DRAWN BY: KWU
CHECKED BY: NDB
PROJECT START: 1/23/23
PROJECT MANAGER: KWU
APPROVED BY: KWU

CESI CIVIL GEOTECHNICAL SURVEYING
PO BOX 268
CONCORD, NC 28026-0268
P. 704.786.5404
F. 704.786.7454
www.cesieng.com
NCBELS CORP. NO. C-0263
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ENGINEERS SEAL
PRELIMINARY NOT FOR CONSTRUCTION
01/23/2023

C200

EXISTING LOTS:
5610-07-1583 AND 5610-07-2631
ZONING RC

EXISTING LOT #1: 0.37 ACRES
EXISTING LOT #2: 0.32 ACRES

TOTAL PROPOSED LOTS: 6, 2 TRIPLEXES

EACH LOT TO HAVE ITS OWN 2-CAR DRIVEWAY

PROJECT NOT ANTICIPATED TO TRIP THE REQUIREMENTS FOR WATER QUALITY, DETENTION, OR EROSION CONTROL PERMITTING

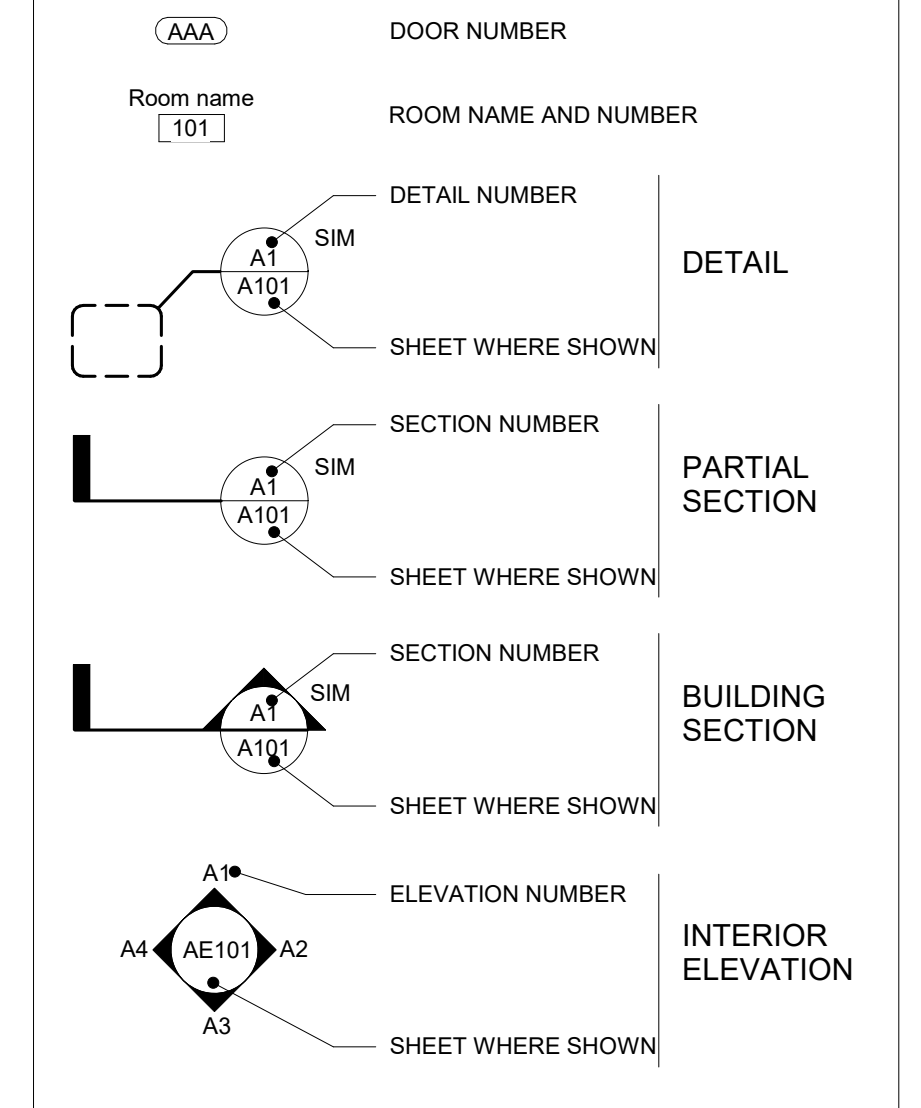
502 URBAN DRIVE NORTHWEST TOWNHOME

PROJECT NOTES

- THESE DRAWINGS ARE SCOPE DOCUMENTS INDICATING THE GENERAL PROJECT DESIGN CONCEPT, DIMENSIONS OF THE PROJECT, MAJOR ARCHITECTURAL ELEMENTS, AND BASIC ORGANIZATION OF STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
- AS SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY DESCRIBE OR INDICATE ALL MATERIALS OR WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE PROJECT. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR(S) SHALL FURNISH ALL ITEMS REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE PROPOSED PROJECT. THE OWNER IS NOT RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR(S) TO EXECUTE NECESSARY WORK AND SUPPLY REQUIRED MATERIALS FOR PROPER COMPLETION OF THIS PROJECT AND MAKES NOT WARRANTY, SAID OR IMPLIED ON THESE CONSTRUCTION DOCUMENTS.
- THE AGREEMENT BETWEEN DESIGN SIGNATURES LLC AND ANY OTHER PARTY INVOLVED WITH THIS STRUCTURE DOES NOT INCLUDE ON - SITE INSPECTIONS AND OBSERVATION, AND DUE TO THE FACT THAT DESIGN SIGNATURES LLC HAS COMPLETED ONLY WORKING DRAWINGS FOR THIS STRUCTURE, DESIGN SIGNATURES LLC CANNOT ASSUME RESPONSIBILITY FOR CONSTRUCTION, CONSTRUCTION METHODS, OR SAFETY PRECAUTIONS USED BY CONTRACTOR(S).
- THESE PLANS ARE INTENDED TO PROVIDE THE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED & CHECKED BY THE BUILDER OR GENERAL CONTRACTOR OF THIS JOB PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS, IF FOUND, SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. THE OWNER OR CONTRACTOR WILL BE RESPONSIBLE FOR ANY MECHANICAL, PLUMBING, ELECTRICAL OR STRUCTURAL DRAWINGS SHOULD IF NEEDED, PRIOR TO THE START OF CONSTRUCTION. ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES & RESTRICTIONS SHALL TAKE PRECEDENCE OVER ANY PART OF THESE PLANS BUT MUST FIRST BE BROUGHT TO THE ATTENTION OF THE OWNER. THE OWNER IS NOT RESPONSIBLE FOR ANY STRUCTURAL, CONSTRUCTION, FABRICATION, ELECTRICAL, PLUMBING, MECHANICAL, CIVIL OR LANDSCAPING FAILURES CONCERNING THIS PROJECT.
- G.C. TO PROVIDE CARBON MONOXIDE ALARMS IN ACCORDANCE WITH SECTION 315.1.
- G.C. TO PROVIDE SMOKE ALARMS AS REQUIRED FOR NEW DWELLING. THE SMOKE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED.



ARCHITECTURAL SYMBOLS



DESIGNER:
Robert Comery

502 URBAN DRIVE NORTHWEST
TOWNHOME

AREAS

UNIT	A	B	C
FIRST FLOOR:	619 SF	619 SF	619 SF
SECOND FLOOR:	580 SF	580 SF	580 SF
PORCH	47 SF	47 SF	47 SF

APPLICABLE CODES

2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE
 APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE DRAWINGS AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE AT THE EXPENSE OF THE OWNER, SUBJECT TO THE RECEIPT OF AN AFFIDAVIT OR LETTER FROM THE GOVERNING BODY AND OWNER'S PRIOR APPROVAL OF ANY ADDITIONAL COST TO BE INCURRED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED.

SHEET INDEX		
Sheet Number	Sheet Name	Assembly Name
C00	COVER SHEET AND SITE PLAN	
S01	SITE PLAN	
A01	FOUNDATION, FLOOR AND ROOF PLANS	
A02	FLOOR PLANS	
A03	BUILDING ELEVATIONS	
A04	BUILDING SECTIONS AND WALL SECTIONS	
A05	ENLARGE PLANS AND INTERIOR ELEVATIONS	

DATE: November 1st, 2022
 DESIGN: 1
 DRAWN: Author
 REVIEW: Checker
 REVISIONS
 No. Date Description

COVER SHEET
AND SITE PLAN

C00

SHEET OF

DESIGNER:
Robert Comery

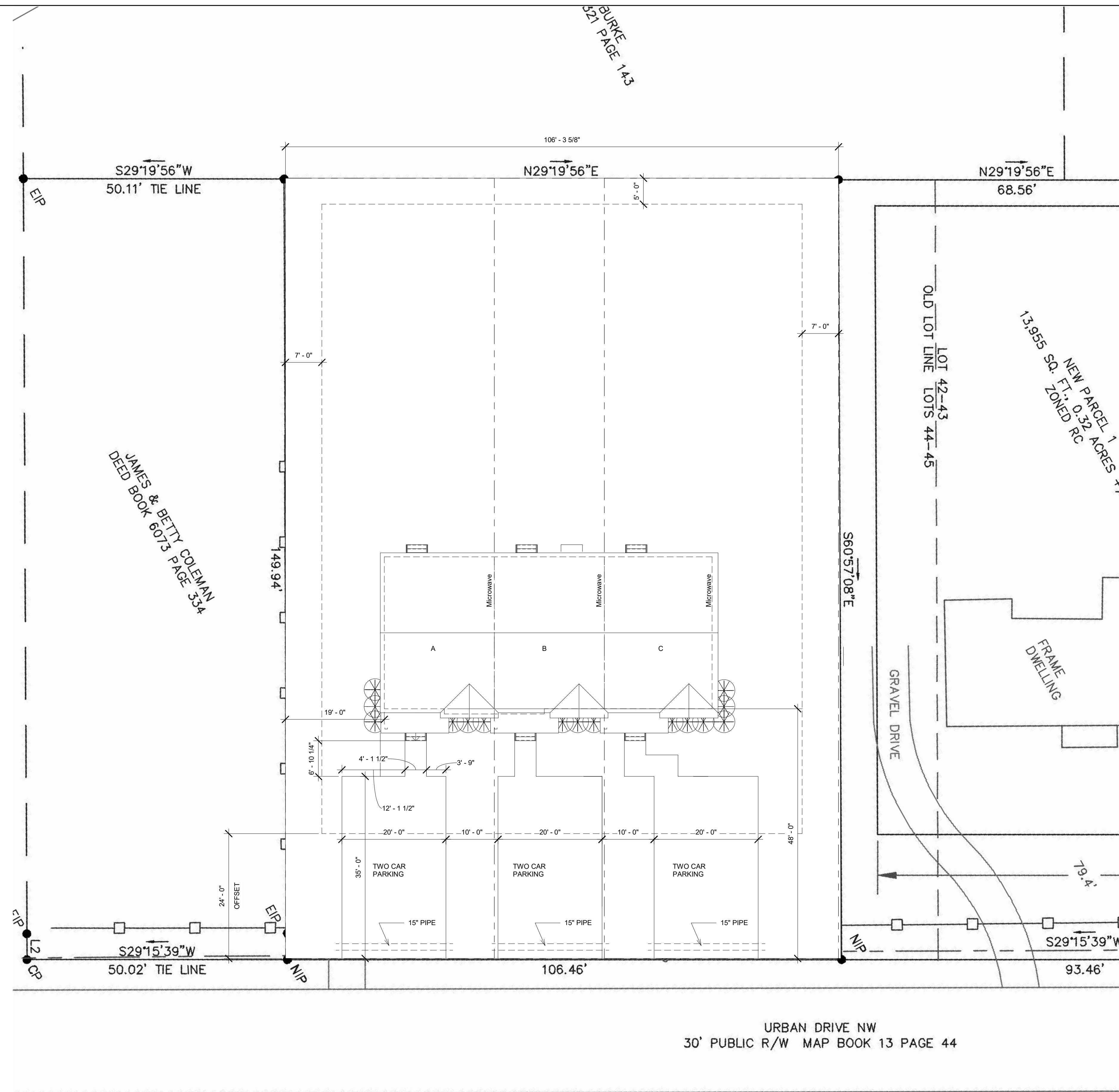
502 URBAN DRIVE NORTHWEST
TOWNHOME

DATE: November 1st, 2022
DESIGN: 2
DRAWN: Author
REVIEW: Checker
REVISIONS
No. Date Description

SITE PLAN

S01

SHEET OF



1 Site Plan
1" = 10'-0"

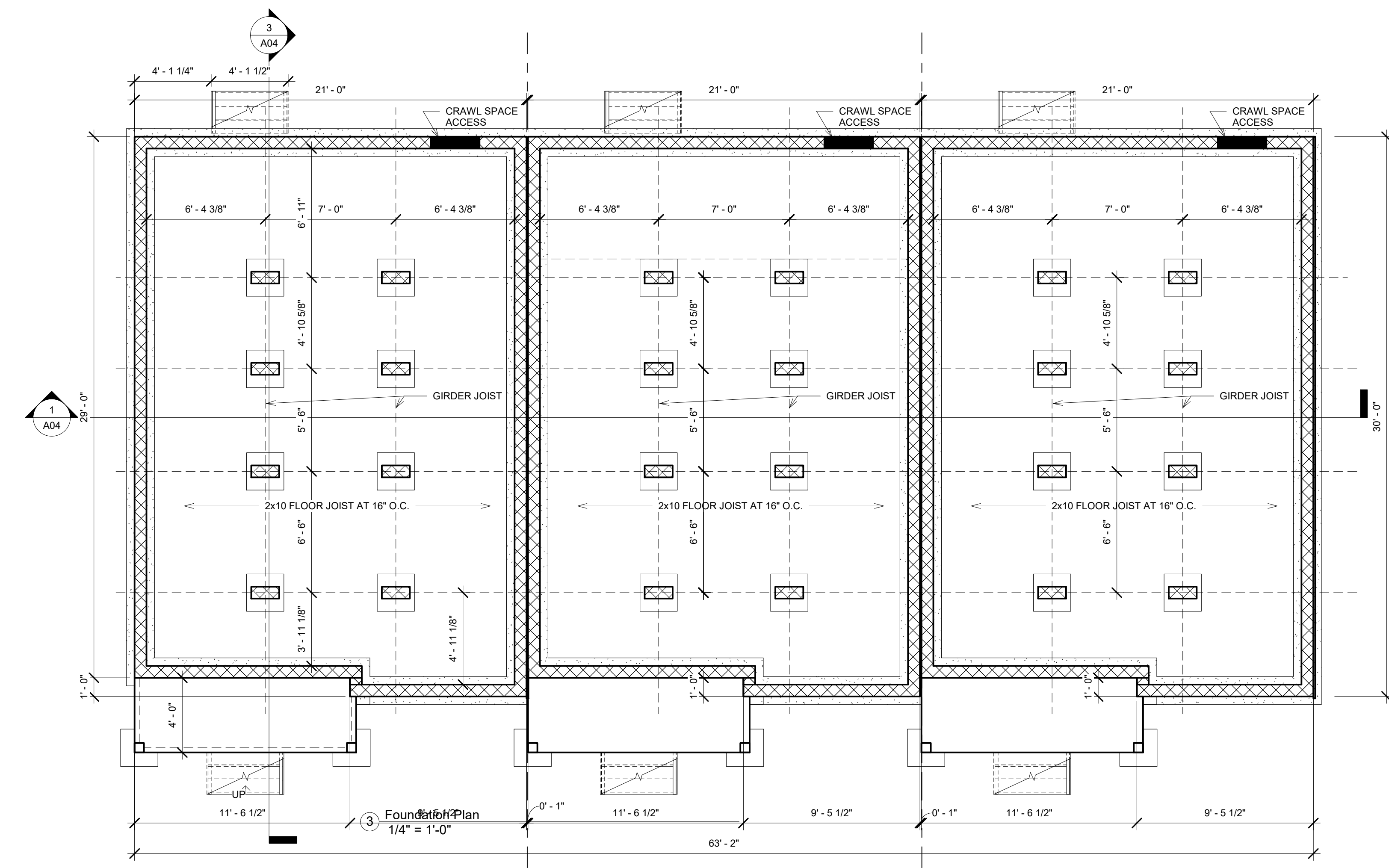
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BURKE PAGE 143
521

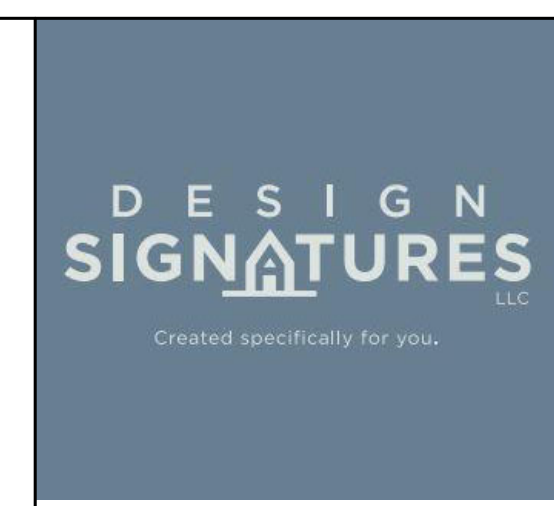
JAMES & BETTY COLEMAN
DEED BOOK 6073 PAGE 334

URBAN DRIVE NW
30' PUBLIC R/W MAP BOOK 13 PAGE 44

11/4/2022 4:47:50 AM
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- ### GENERAL NOTES
1. PROVIDE WALL BRACING PER TABLE R602.10.1 AND SECTION R602.10 FOR CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL (CS-WSP).
 2. ALL DECK CONSTRUCTION SHALL COMPLY WITH NCSRC APPENDIX M. SEE ARCHITECTURAL PLANS FOR DECK FRAMING.
 3. TIE STUD WALL TO MASONRY WITH 1/2" X 12" ANCHOR BOLTS, SIMPSON MUDDSILL ANCHORS OR EQUAL AT 6'-0" O.C. MAXIMUM SPACING, AND MAXIMUM 1'-0" FROM CORNERS OR PER MANUFACTURERS SPECIFICATION, COMPLY WITH STRICTER REQUIREMENT.
 4. ALL FRAMING LUMBER TO BE SPRUCE-PINE-FIR #2 (SPF #2) OR OF GREATER QUALITY.



DESIGNER:
Robert Comery

502 URBAN DRIVE NORTHWEST
TOWNHOME

DATE: November 1st, 2022
DESIGN: 6
DRAWN: Author
REVIEW: Checker
REVISIONS
No. Date Description

FOUNDATION,
FLOOR AND
ROOF PLANS

A01

SHEET OF

DESIGNER:
Robert Comery

502 URBAN DRIVE NORTHWEST
TOWNHOME

DATE: November 1st, 2022
DESIGN: 7
DRAWN: Author
REVIEW: Checker
REVISIONS
No. Date Description

FLOOR PLANS

A02

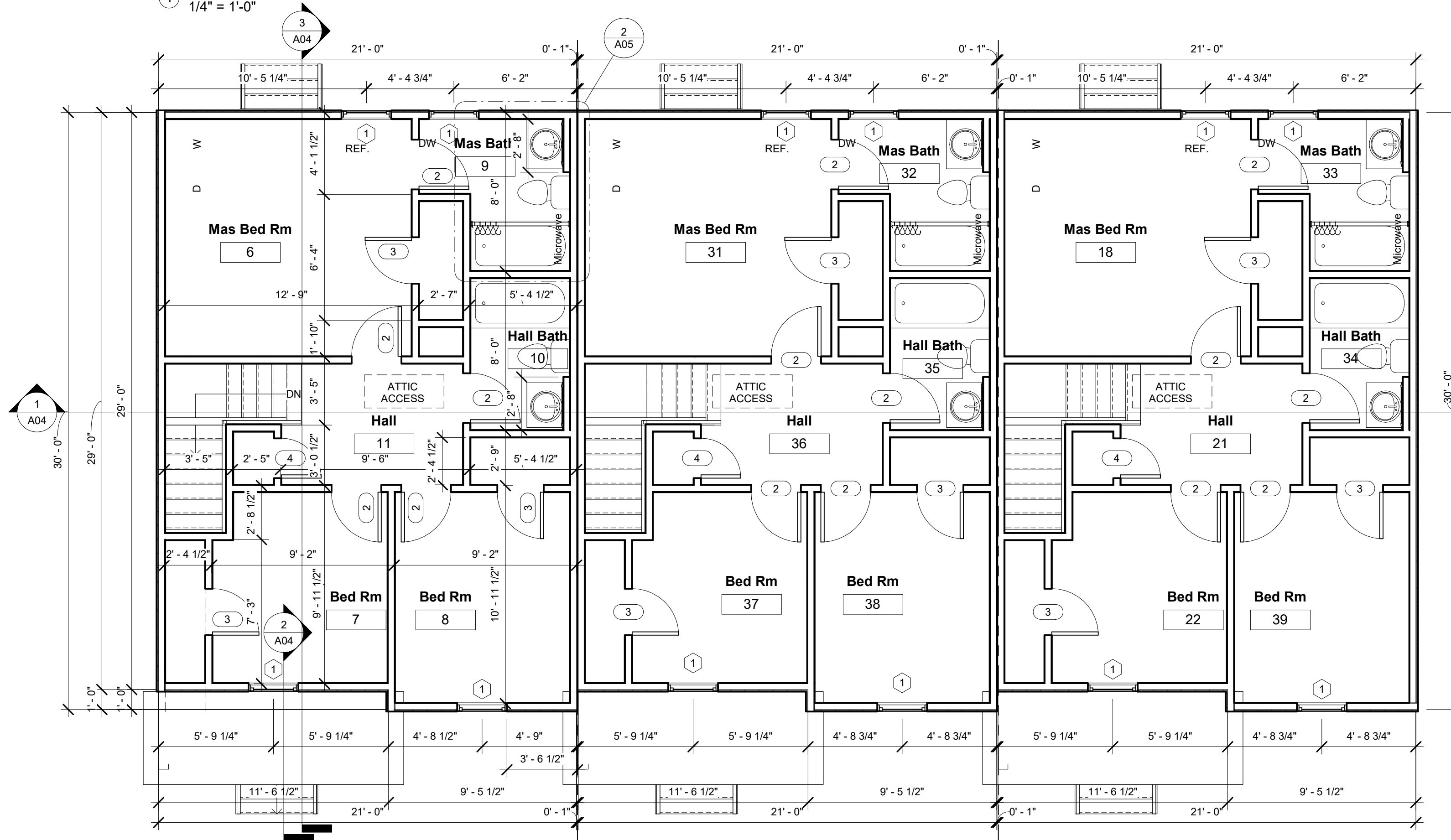
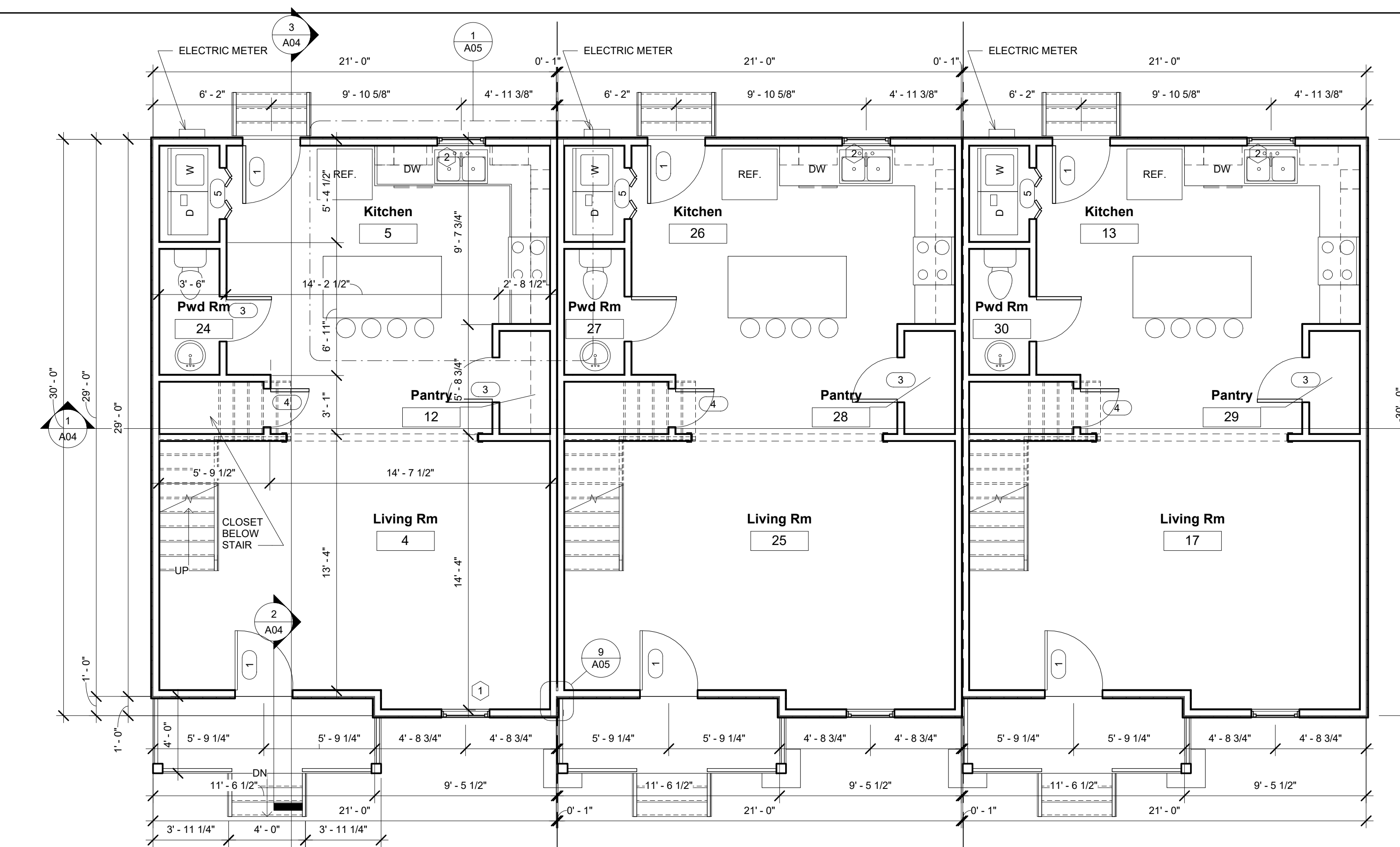
SHEET OF

GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
2. CEILING SHALL BE 1/2" GYPSUM BOARD WITH FLAT FINISH.
3. PROVIDE R-13 INSULATION IN THE MASTER BEDROOM WALLS IN ITS ENTIRETY AND ALL EXTERIOR WALLS. PROVIDE R-38 INSULATION IN ATTIC.
4. CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ALLEXISTING CONDITIONS PRIOR TO PRICING FROM WHICH A CONTRACT WILL BE FORMULATED.
5. ALL GRADES, LINES, LEVELS, AND SITE DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED. ANY ERROR OR INCONSISTENCY SHALL BE REPORTED TO THE OWNER FOR INSTRUCTIONS.
6. BEFORE ORDERING ANY MATERIALS, DOORS OR WINDOWS, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DIFFERENCES BETWEEN THE ACTUAL DIMENSIONS ON THE SITE AND THOSE INDICATED ON THE DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR INSTRUCTIONS AND CONSIDERATIONS BEFORE PROCEEDING WITH THE WORK.
7. COOPERATE WITH APPLICABLE CITY OR OTHER GOVERNMENT OFFICIALS AND INSPECTORS AT ALL TIMES. IF SUCH OFFICIAL OR INSPECTOR DEEMS SPECIAL INSPECTION NECESSARY, PROVIDE ALL ASSISTANCE AND FACILITIES THAT WILL EXPEDITE HIS INSPECTION.
8. INSTALL ALL MANUFACTURING ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS. EXCEPT THAT THE SPECIFICATIONS HEREIN, WHERE MORE STRINGENT, SHALL BE COMPLIED WITH.
9. PROVIDE AND MAINTAIN IN PROPER ORDER AND IN GOOD, CLEAN CONDITION AT THE PROJECT SITE, ONE COMPLETE SET OF SEPIA REPRODUCIBLE PRINTS OF ALL WORKING DRAWINGS. ON THIS SET OF DRAWINGS, PRINT IN PENCIL NEATLY AND ACCURATELY ANY CHANGES IN THE LOCATIONS AND TYPE OF PARTITIONS, WALLS, ELECTRICAL, AND MECHANICAL SERVICES AND EQUIPMENT. THIS SET OF PRINTS SHALL BE PRESENTED TO THE OWNER AT THE TIME OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
10. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING HIS OWN TELEPHONE, TOILET, WATER, AND ELECTRICITY FOR ALL PROJECT FUNCTIONS.
11. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING ALL TAPS, EXTENSIONS, VALVES, OR OTHER DEVICES NECESSARY TO RUN POWER TOOLS AND EQUIPMENT. SUCH MODIFICATIONS TO EXISTING UTILITIES MUST BE REMOVED AT COMPLETION OF THE PROJECT.
12. THE CONTRACTOR SHALL LIMIT THE INGRESS AND EGRESS OF MEN AND EQUIPMENT TO THE CONSTRUCTION SITE TO AUTHORIZED PERSONS ONLY. DAMAGE TO ANY EXISTING INTERIOR OR EXTERIOR CONSTRUCTION SHALL BE REPAIRED TO "LIKE NEW" CONDITION UNDER THIS CONTRACT.
13. EXCEPT WHERE OTHERWISE SPECIFIED, THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER TO MAINTAIN ALL WORK, MATERIALS APPARATUS AND FIXTURES FROM INJURY OR DAMAGES. AT THE END OF THE DAY'S WORK, ALL NEW WORK LIKELY TO BE DAMAGED SHALL BE COVERED OR OTHERWISE PROTECTED AS REQUIRED.
14. THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES ADEQUATE SAFETY BARRICADES AND CLEAR ACCESS IN AND OUT OF THE WORK SITE SO AS TO FACILITATE DAILY TRAFFIC MOVEMENT, DELIVERIES, AND SAFETY.
15. SUBSTITUTIONS WILL BE CONSIDERED ONLY WHERE THE TERM "APPROVED EQUAL" IS USED. APPROVAL IS AT THE SOLE DISCRETION OF THE OWNER.
16. THE CONTRACTOR SHALL FURNISH & INSTALL PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY LOCAL, STATE, & FEDERAL CODES AND REGULATIONS.
17. CONTRACTOR TO VERIFY & COORDINATE LOCATIONS OF DRAFTSTOPPING & FIRE EXTINGUISHERS W/ THE LOCAL FIRE CODE OFFICIAL, WHEN NECESSARY.
18. NOTE: BEDROOM WINDOWS ARE SIZED FOR WOOD DOUBLE HUNG UNITS WHICH MEET EGRESS. PLEASE VERIFY THIS INFORMATION WITH THE BRAND AND TYPE OF WINDOW YOU USE.

DOOR SCHEDULE				
Mark	Count	Width	Height	Comments
1	6	3'-0"	6'-8"	
2	15	2'-6"	6'-8"	
3	15	2'-4"	6'-8"	
4	6	2'-0"	6'-8"	
5	3	2'-8"	6'-8"	

WINDOW SCHEDULE					
Mark	Count	Sill Height	Width	Height	Comments
1	15	2'-10"	2'-6"	3'-10"	
2	3	3'-8"	2'-6"	3'-0"	



11/4/2022 4:48:03 AM
C:\Users\saatch\Desktop\project\502 URBAN DRIVE NORTHWEST TOWNHOME RESIDENCE.rvt

DESIGNER:
Robert Comery

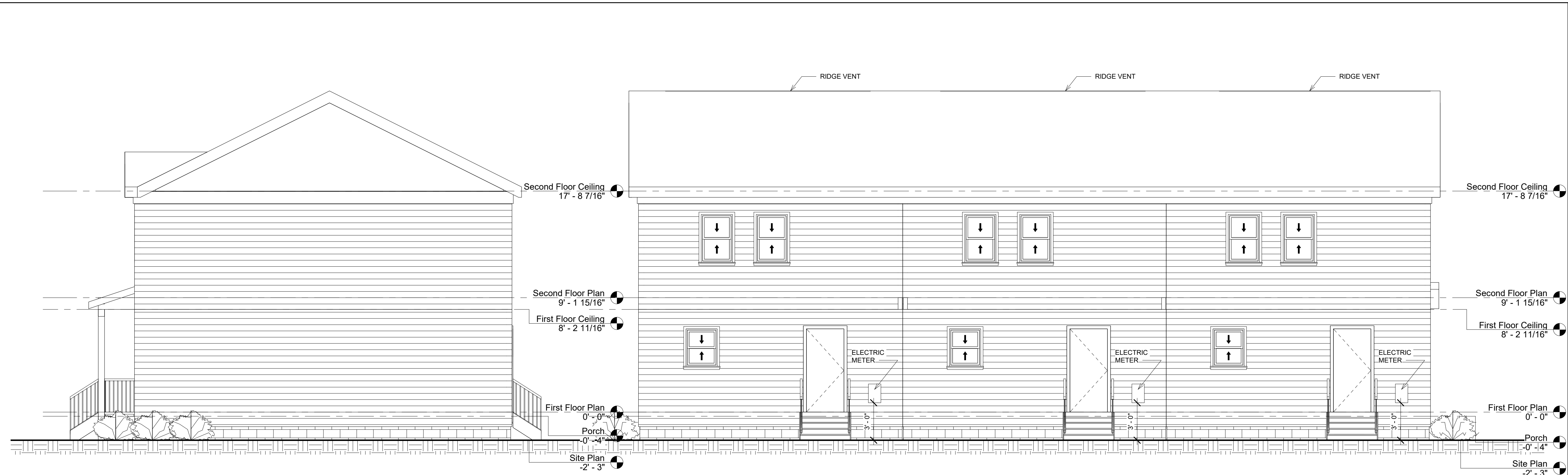
502 URBAN DRIVE NORTHWEST
TOWNHOME

DATE: November 1st, 2022
DESIGN: 9
DRAWN: Author
REVIEW: Checker
REVISIONS
No. Date Description

BUILDING
ELEVATIONS

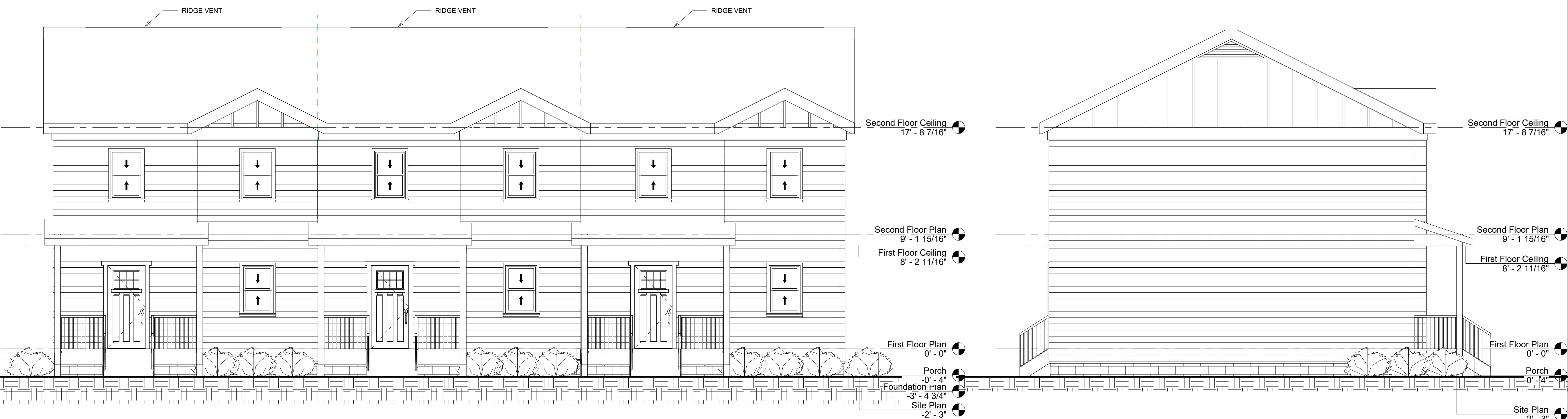
A03

SHEET OF



1 EAST ELEVATION
1/4" = 1'-0"

2 NORTH ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"

4 WEST ELEVATION
1/4" = 1'-0"

DESIGNER:
Robert Comery

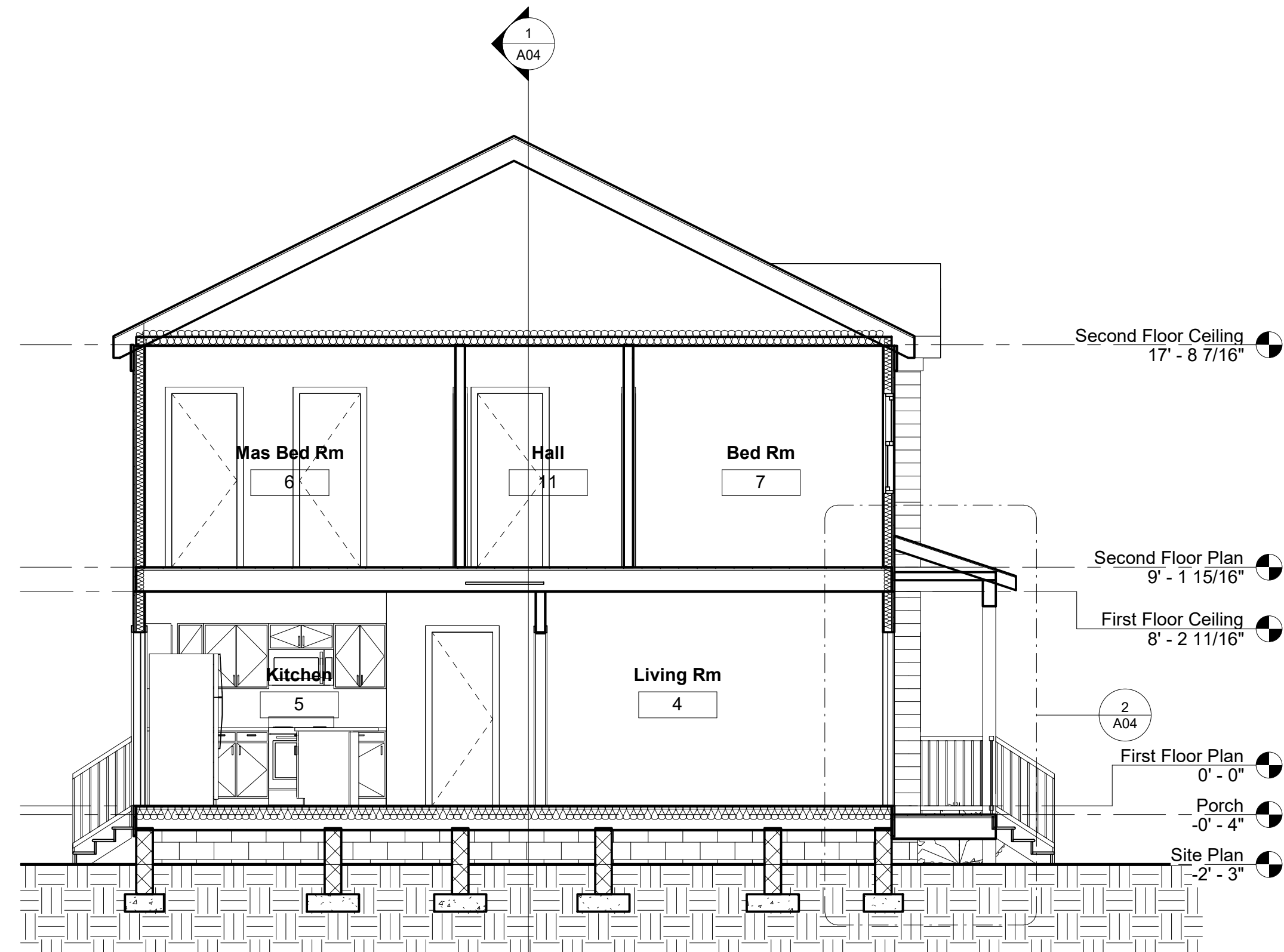
502 URBAN DRIVE NORTHWEST
TOWNHOME

DATE: November 1st, 2022
DESIGN: 11
DRAWN: Author
REVIEW: Checker

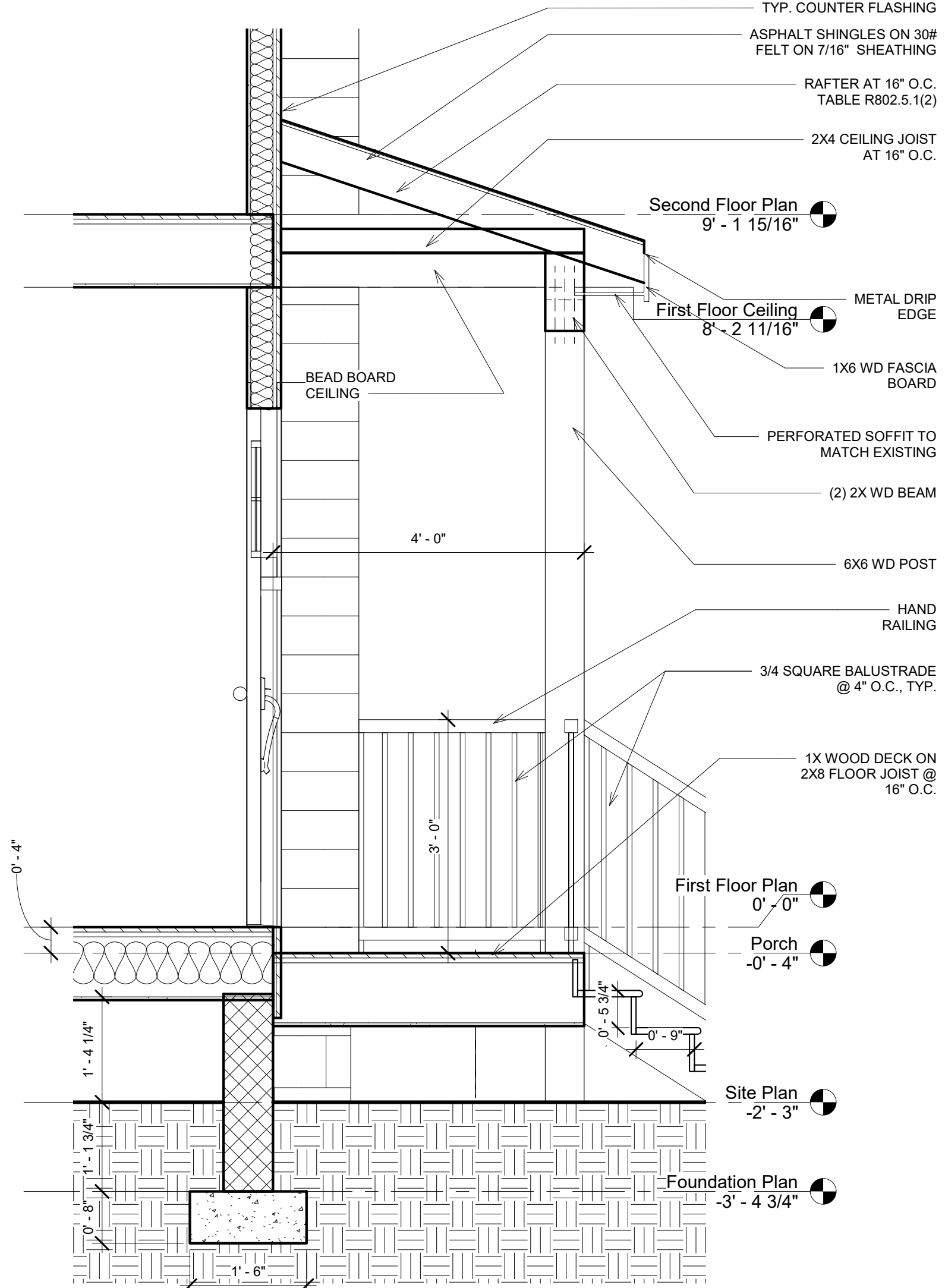
REVISIONS
No. Date Description

BUILDING SECTIONS AND WALL SECTIONS
A04

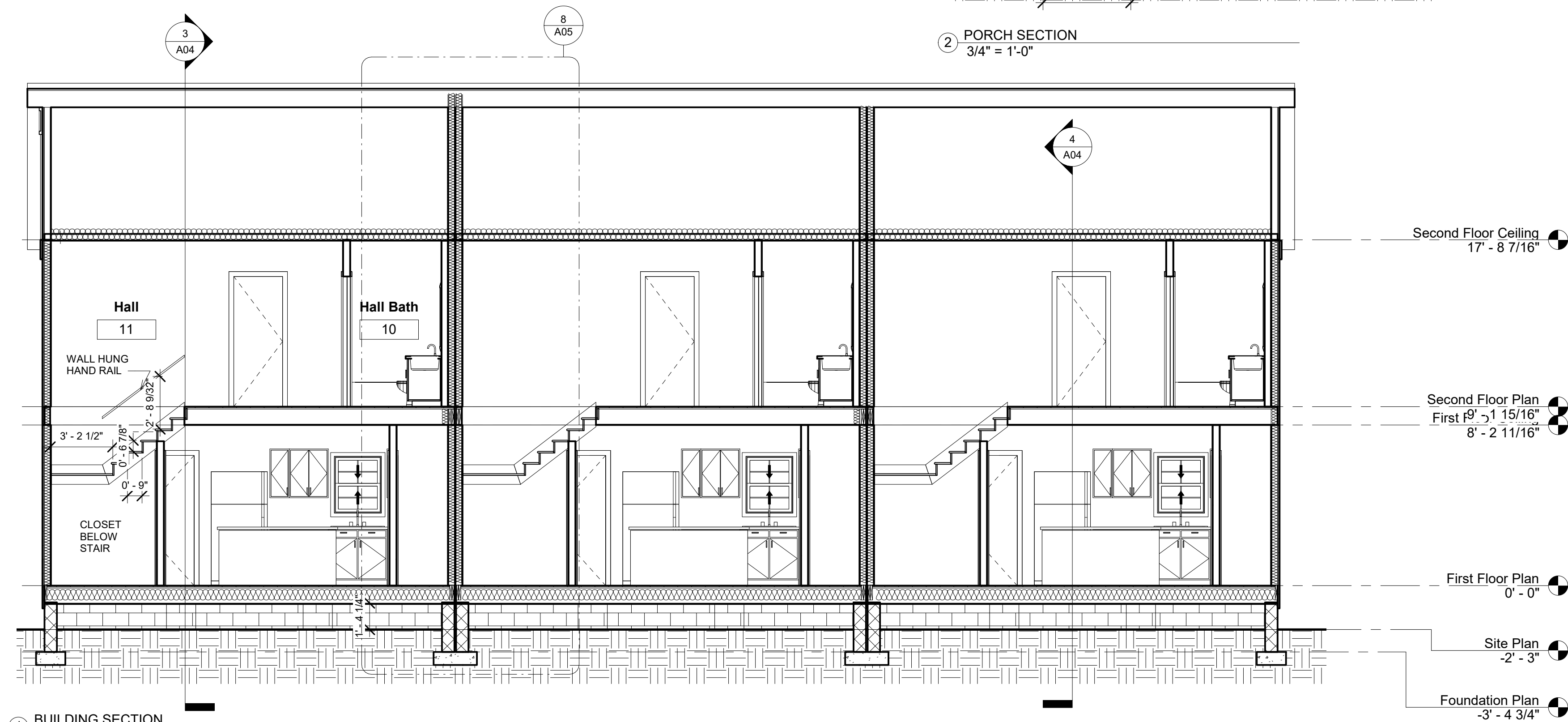
SHEET OF



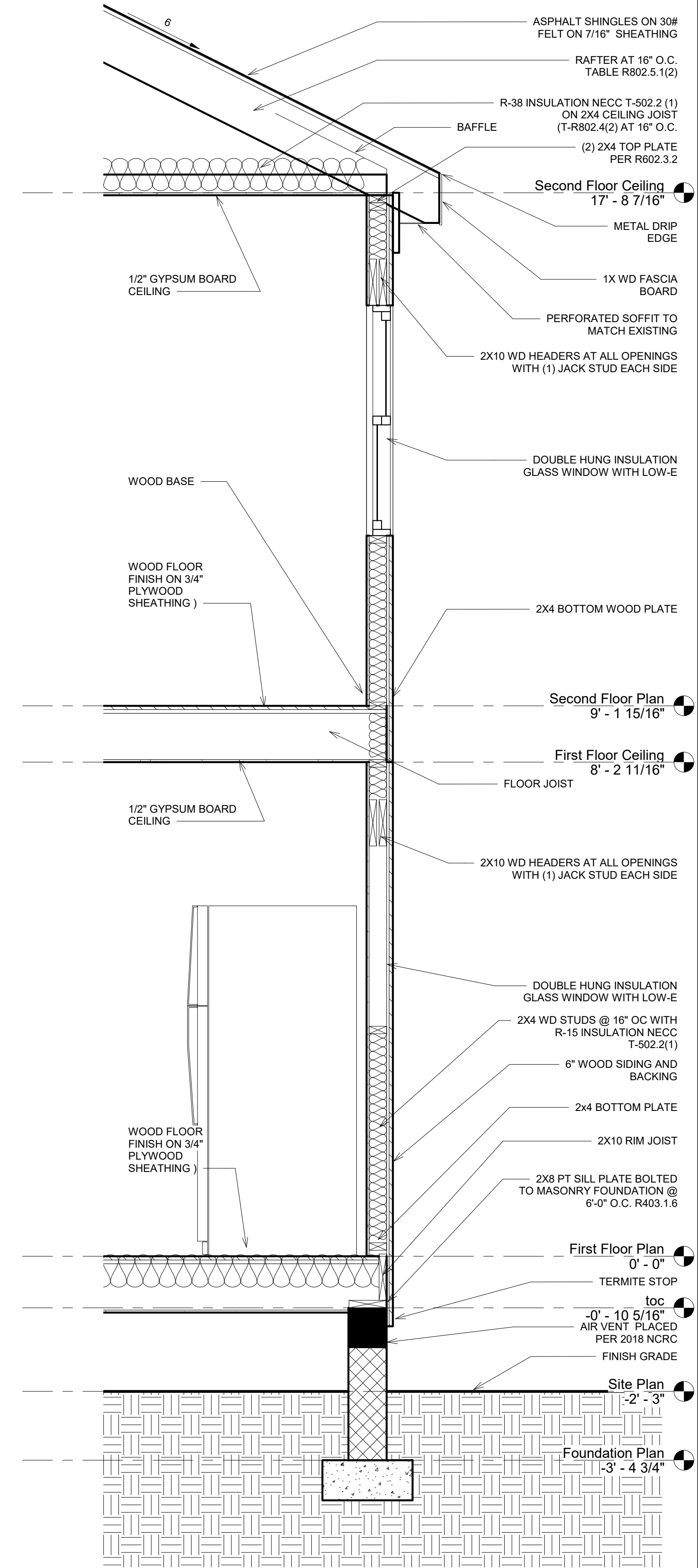
3 LONG BUILDING SECTION
1/4" = 1'-0"



2 PORCH SECTION
3/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"



4 WALL SECTION
3/4" = 1'-0"

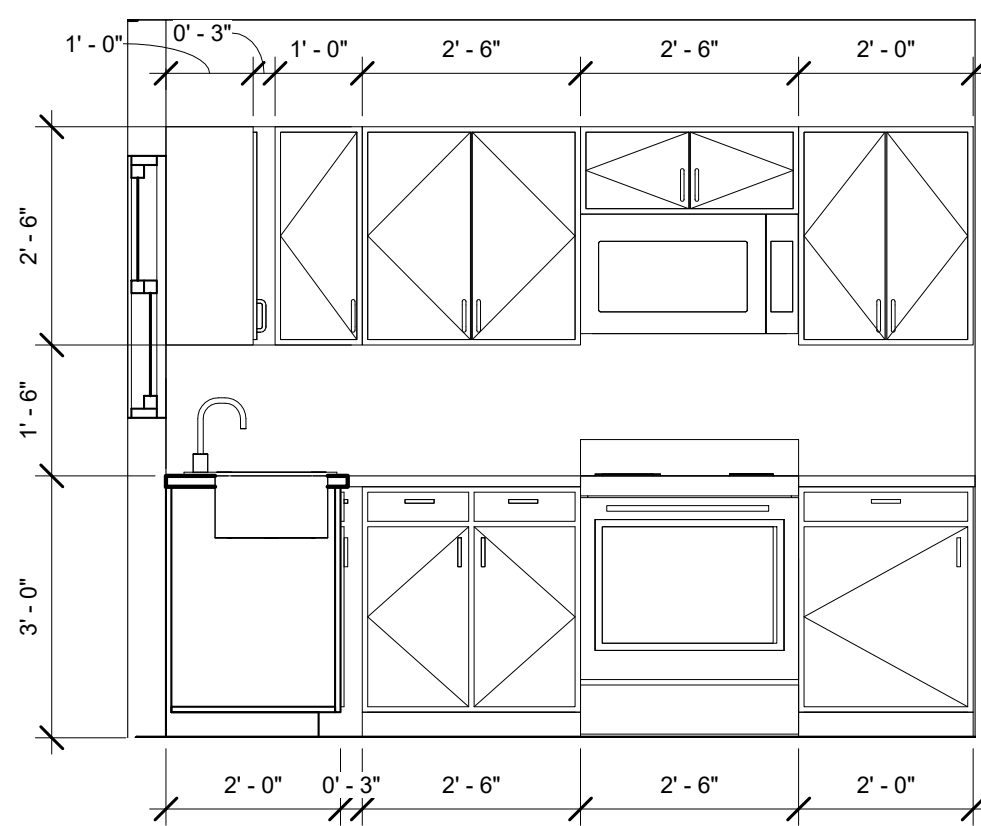
DESIGNER:
Robert Comery

502 URBAN DRIVE NORTHWEST
TOWNHOME

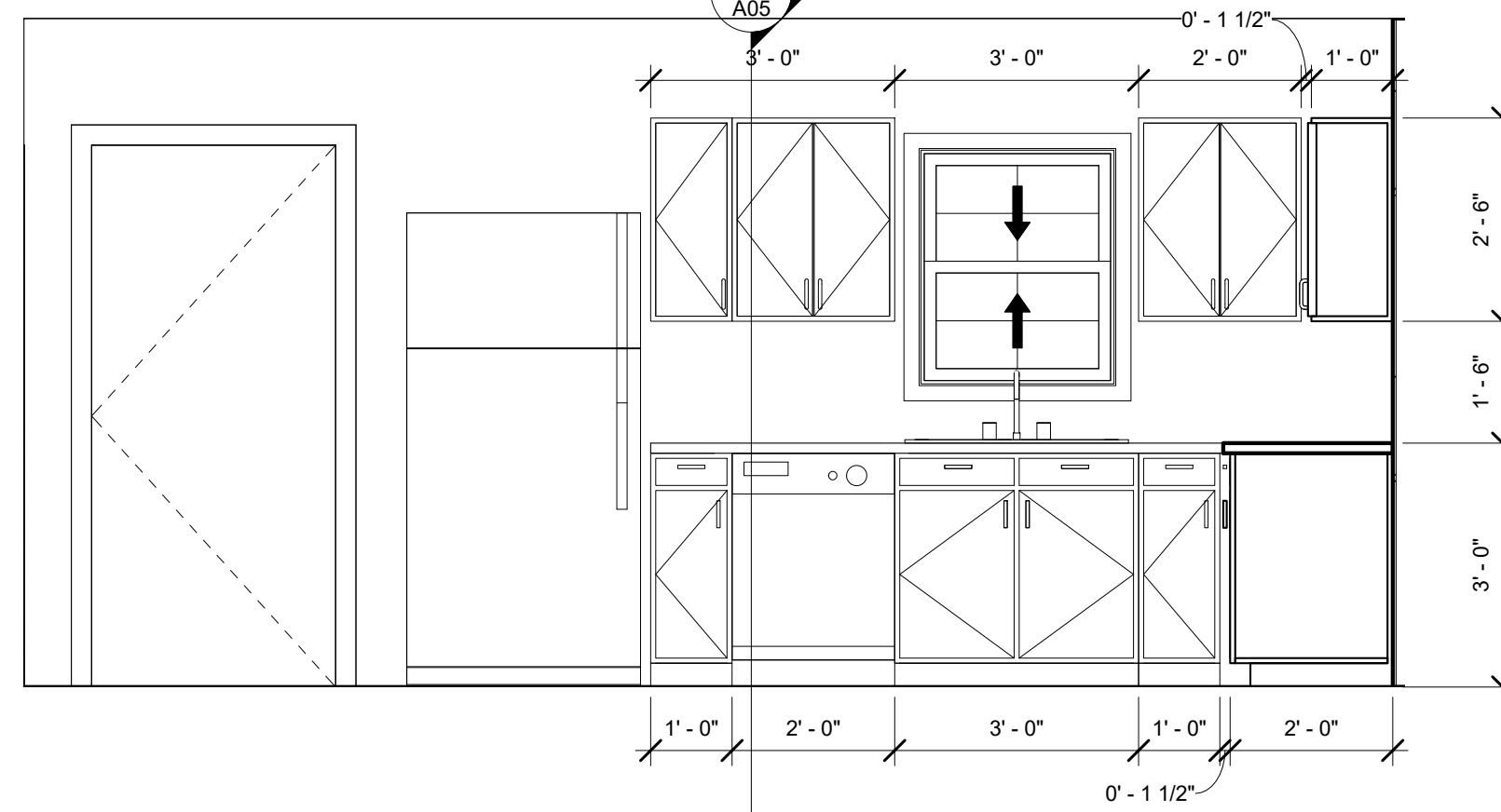
DATE: November 1st, 2022
DESIGN: 12
DRAWN: Author
REVIEW: Checker
REVISIONS
No. Date Description

ENLARGE
PLANS AND
INTERIOR
ELEVATIONS
A05

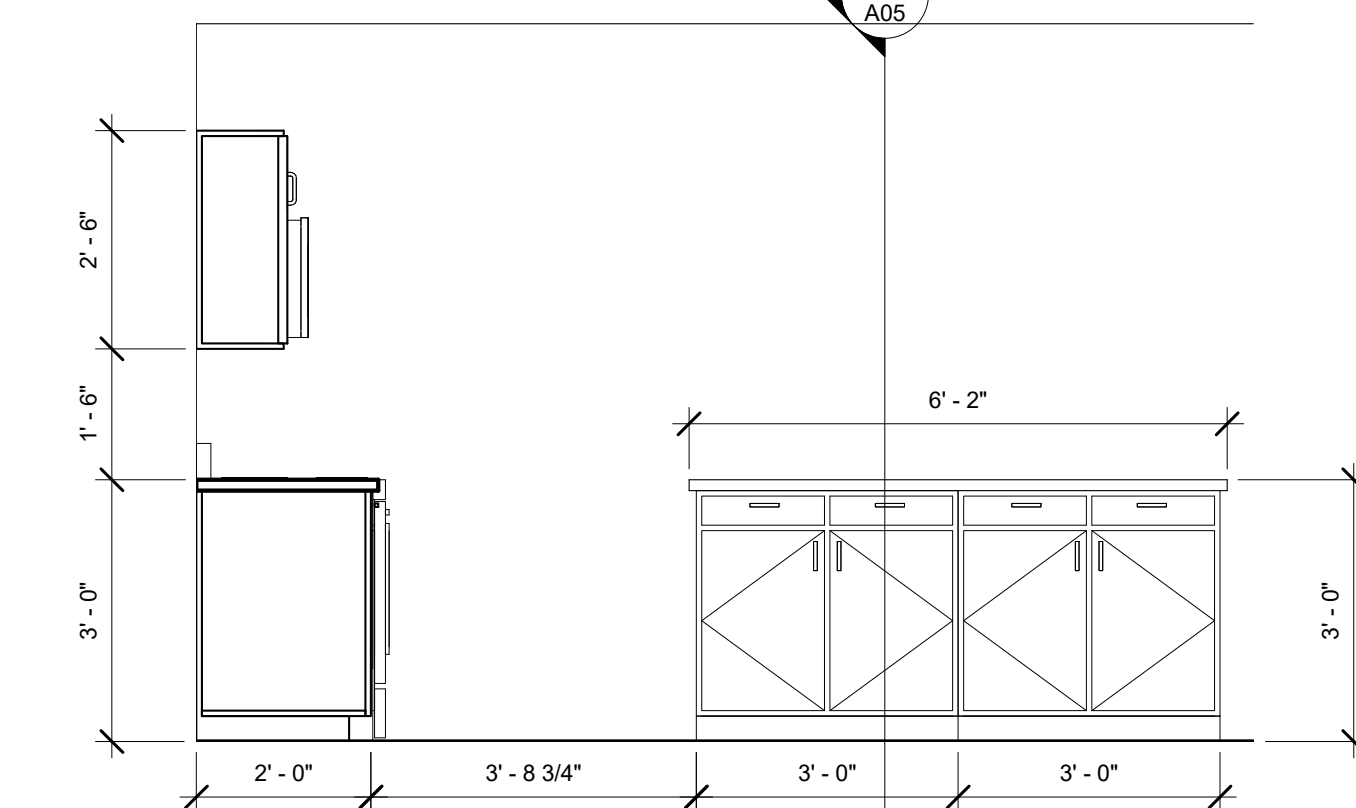
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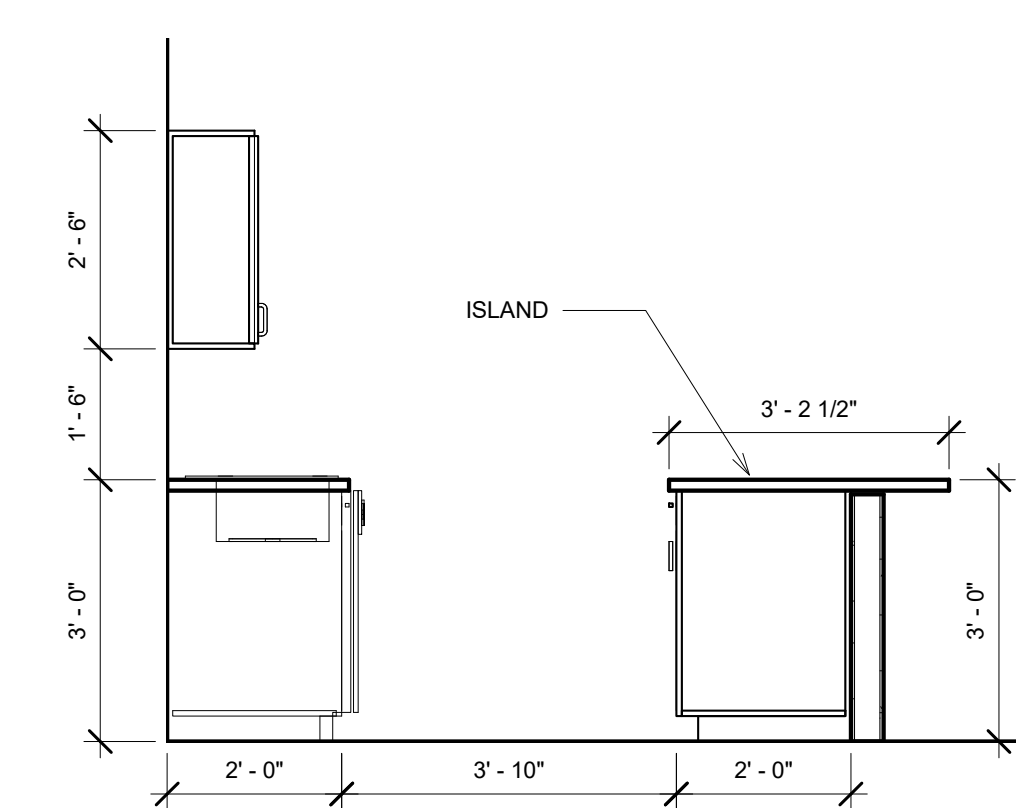
3 Elevation 1 - a
1/2" = 1'-0"



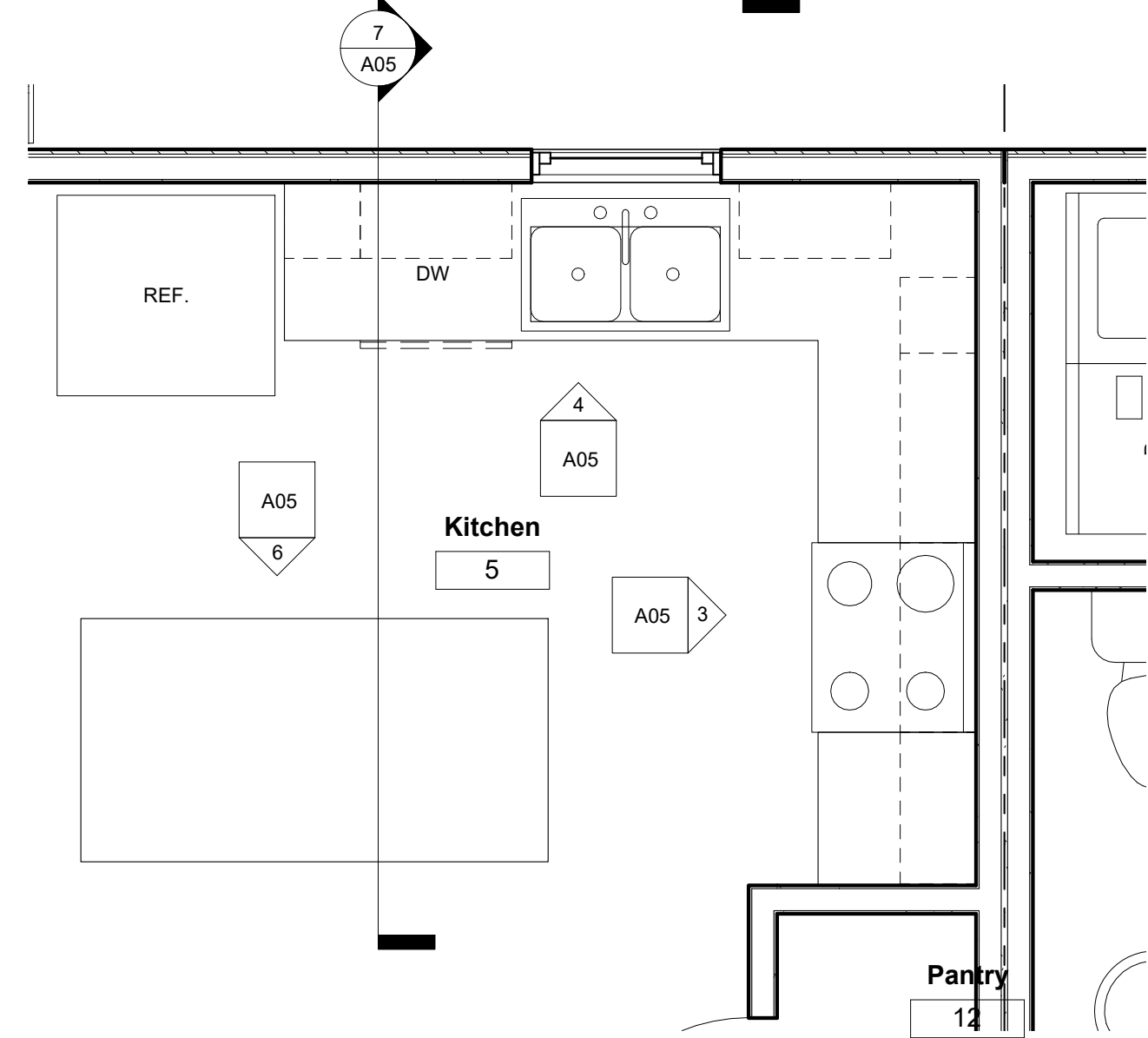
4 Elevation 2 - a
1/2" = 1'-0"



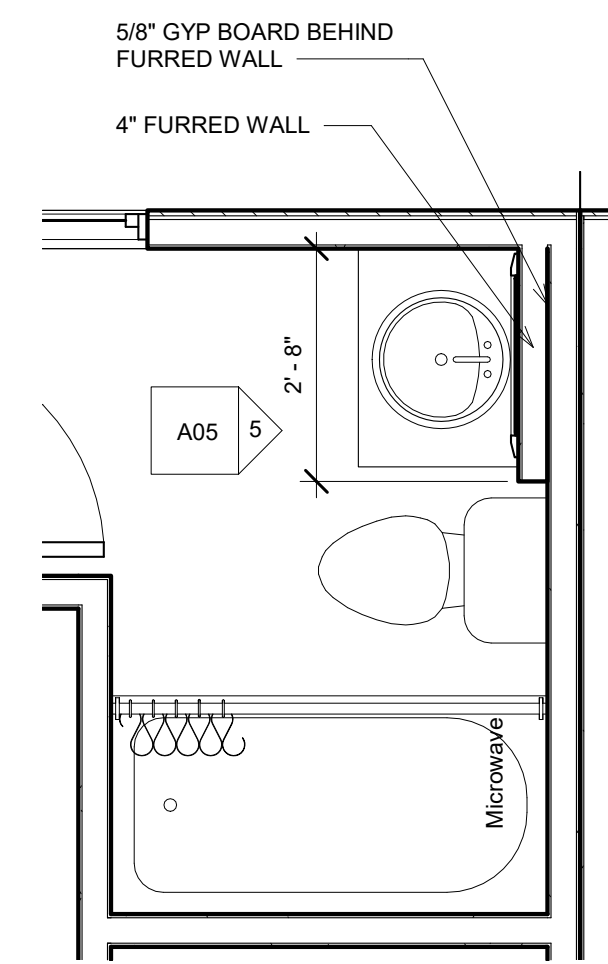
6 Elevation 4 - a
1/2" = 1'-0"



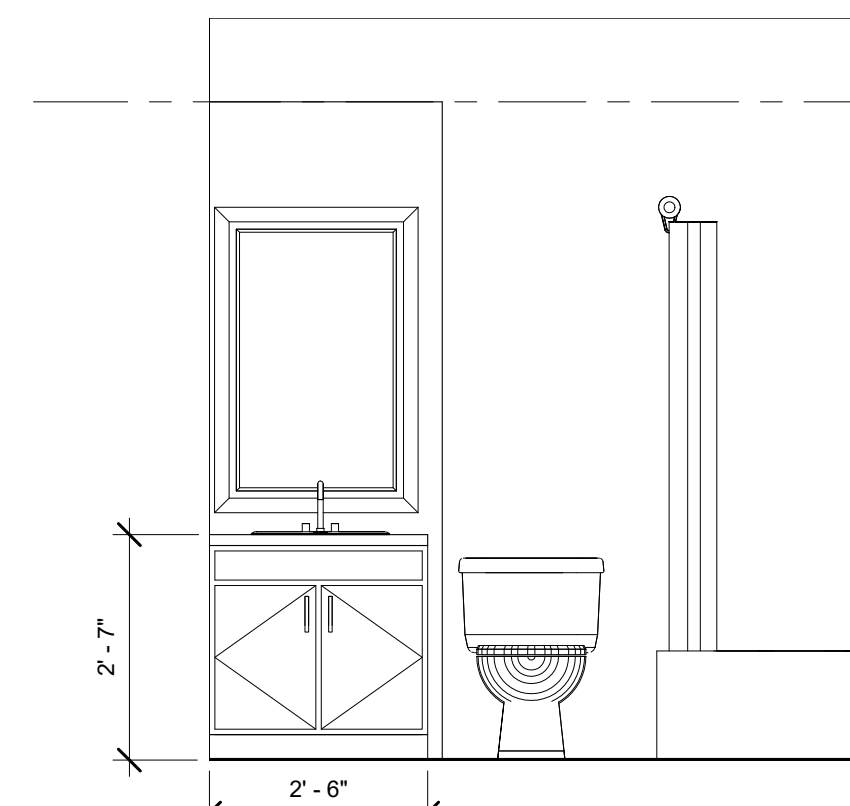
7 Section 1
1/2" = 1'-0"



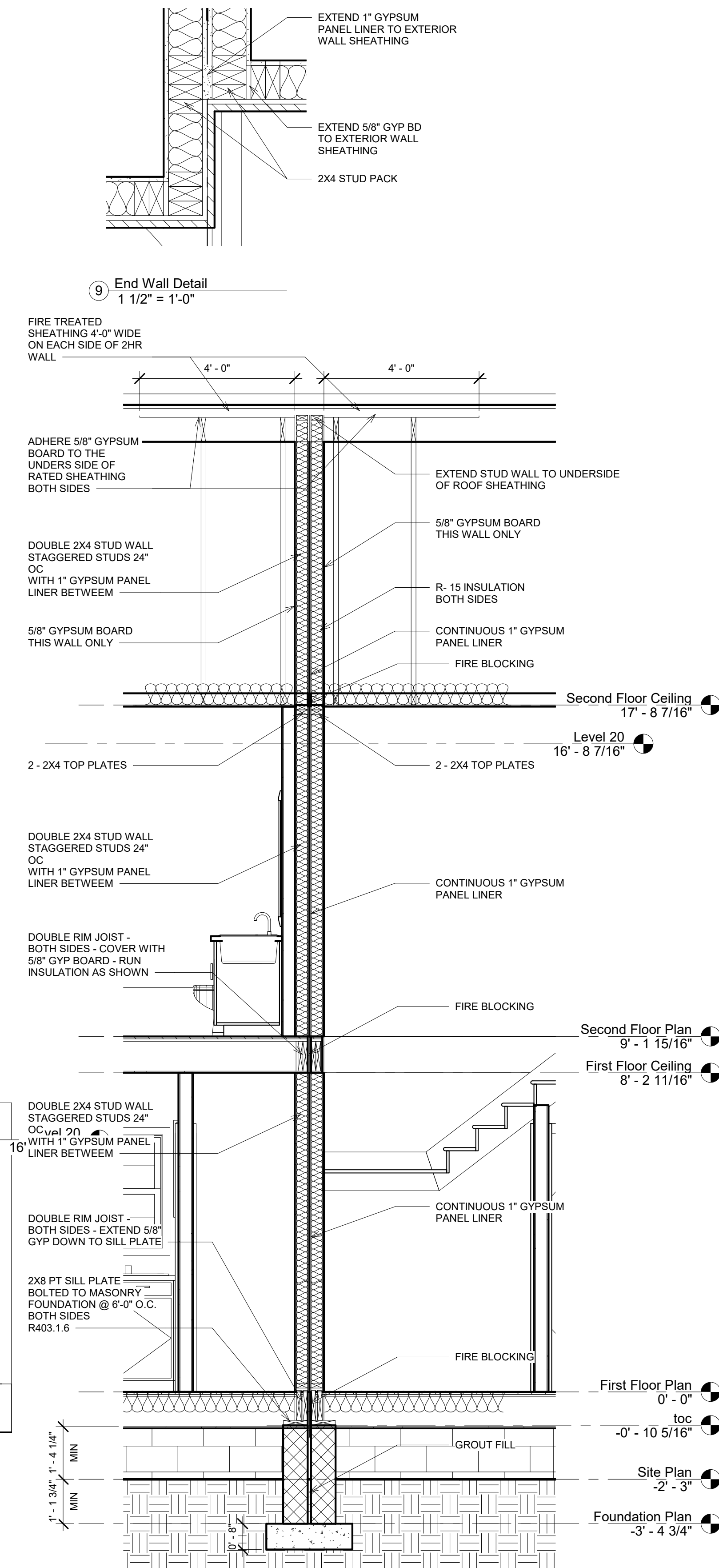
1 ENLARGE KITCHEN PLAN
1/2" = 1'-0"



2 TYP. ENLARGE BATHRM PLAN
1/2" = 1'-0"



5 Elevation 3 - a
1/2" = 1'-0"



8 TYP. PARTY WALL SECTION
1/2" = 1'-0"

Taylor Glen- Ph 1 Cottages (CN-PSA-2023-00004)

3700 Taylor Glen Ln NW.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
5/5/2022	No	12	No	No	No	Yes	No	No

Allocation Request

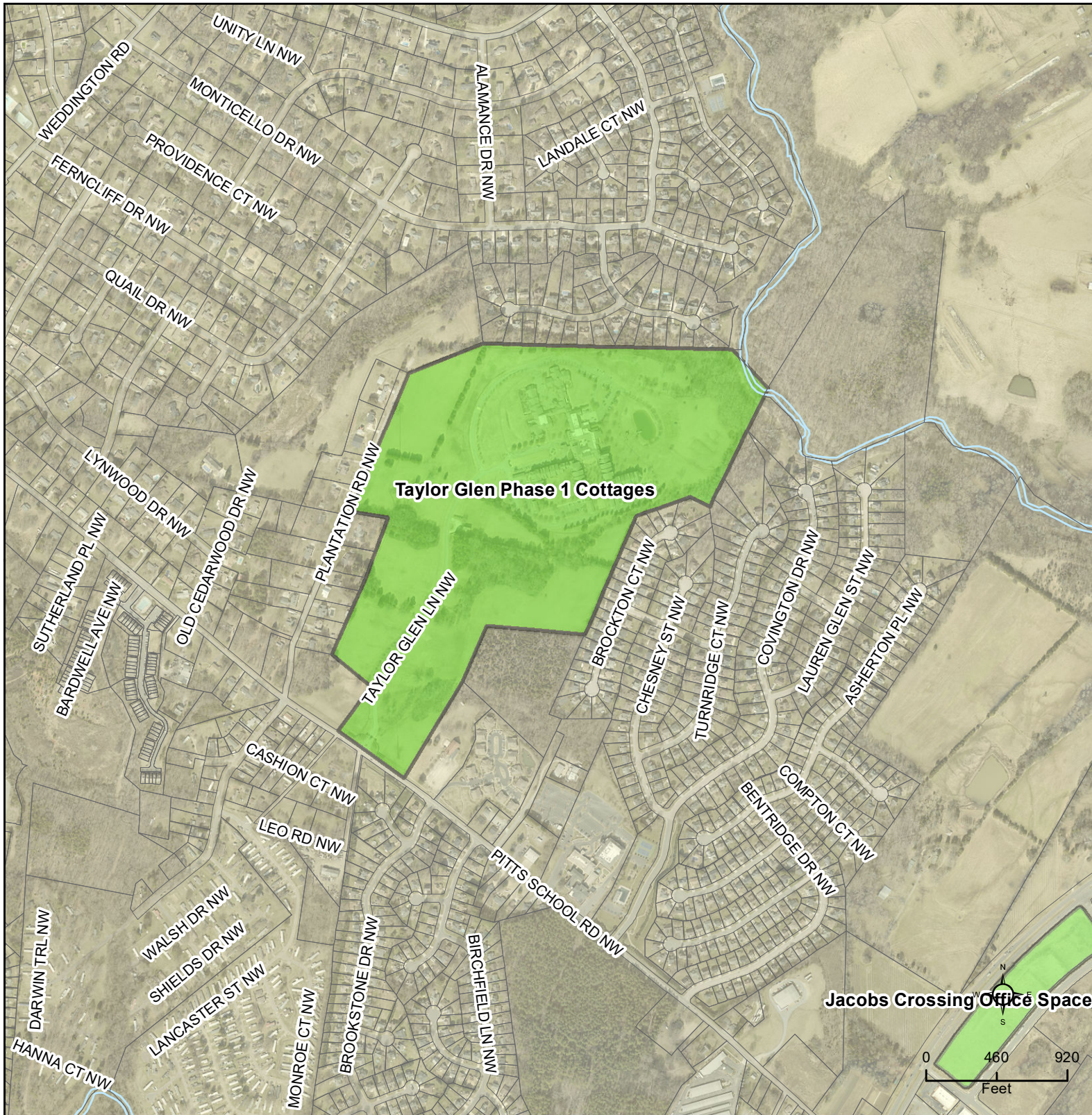
Total	2023
2,090	2,090

Project Scoring

Small Area Plan	Vertical Use	Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	0	1	0	1

Brief Summary

The applicant is looking to expand the existing Taylor Glen Continuing Care Retirement Community. They are looking to add single family cottages, duplex cottages, and villa apartments. This will be looked at as a multi-family product due to the fact it is all located on one parcel. This property was annexed and developed with a multi-level care retirement home in 1995. The parcel is zoned O-I-CD. In 2019 the applicant came back to amend the zoning with an updated site plan. The applicant applied for 50 units at 8,000 gpd on September 20, 2022. This request is for an additional 12 units at the existing health care building and a 750sf community center.



CN-PSA-2023-00004

Taylor Glen Phase 1 Cottages

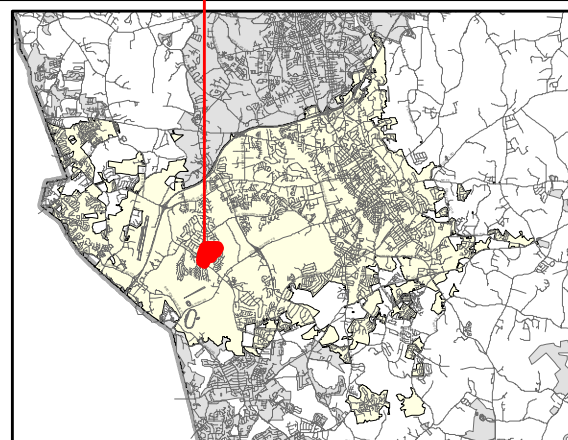
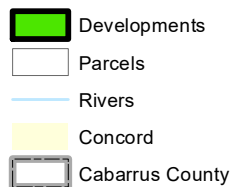
Type: Residential

Multifamily

12 multifamily 1 bedroom units

Allocation Request: 2,090

Project Score: 1





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Taylor Glen - Phase 1 Cottages				
	2.)	Description of project location:	Pitt School Rd NW and Taylor Glenn Lane NW <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>				
	3.)	Cabarrus County Parcel Identification Number:	55091800450000	3a.)	97.73	Parcel Acreage:	
	4.)	Site Zoning and use:	O-I-CD	5.)	Area Commercial or Industrial Building	0 (sq. ft.)	
	6a.)	Description of Facility to be served.	Retirement Community	6b.) Number of Lots	1	6c.) Number of Units	12
	7d.)	Additional description information:	Phase 1 Expansion - 12 Green House 1 Bedroom units & 1 Clubhouse Bathroom proposed				
	B. Applicant Information	Baptist Retirement Homes of North Carolina, Inc. <small>(Title)</small>		3700 Taylor Glen Lane NW <small>(Applicant's Street or Box Number)</small>			
<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>							
The Gardens of Taylor Glen, A Baptist Retirement Homes Community		Concord, NC 28027 <small>(Applicant's City, State, Zip Code)</small>					
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>							
704-788-6510 or 336-893-9599 <small>(Applicant's Phone Number)</small>							
Reed Vanderslik <small>(Name)</small> President and CEO <small>(Email)</small>		rvanderslik@brh.org <small>(Applicant's Email Address)</small>					
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>							
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.							
C. Design Engineer Information if available	J. Neal Tucker, PE <small>(Typed name of North Carolina Professional Engineer)</small>		Stimmel Associates, PA <small>(Company Name)</small>				
	14985 <small>(NCPE Registration Number)</small>		601 N. Trade Street, Suite 200 <small>(Street or Box Number)</small>				
	336-723-1067 ext. 1104 <small>(Phone Number)</small>		Winston-Salem, NC 27101 <small>(City, State, Zip Code)</small>				
	Kimberly M. Barb, PLA (Project Manager)		ntucker@stimmelpa.com <small>(Engineer's Email Address)</small>				
	<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>						

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input checked="" type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input checked="" type="checkbox"/>	Other (specify): _____ Clubhouse - 1 Unisex Bathroom		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 2,090 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(e), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Green House Apartment (1 brm)	160 gal/ day	12	GPD 1,920
Unisex Bathroom at Clubhouse (750 SF, 35 max occupants)	5 gal/ day	34 max occupants	GPD 170
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		12 Total	GPD 2,090

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Reed Vanderslik, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Reed Vanderslik
 Signature: _____ Date: 1/12/2023

January 12, 2023

RE: Preliminary Wastewater Flow Application – Phase 1 The Gardens of Taylor Glen
Owner: ThriveMore (formerly named Baptist Retirement Homes of North Carolina, Inc.)
Concord, NC

NARRATIVE

Request for an Amendment to add twelve (12) Green House Apartment One Bedroom Units at existing Health Care building and a single unisex bathroom for small 750 SF Community Center Building at proposed Phase 1 Cottages.

NOTE: Phase 1 – totaling 50 Units at 8,000 GPD was approved under PSA-2022-00097 on September 20, 2022 for Taylor Glen-Ph 1 Cottages.

Taylor Glen is a Life Plan Community located at 3700 Taylor Glen Lane in Concord. This 120 acre campus is zoned O-I-CU and is located north of Pitt School Road and west of Cobble Creek.

The proposed Phase 1 program elements include

- 26 Single Family Cottages (two bedroom) with a small Clubhouse/Community Center
- 2 new Villa Apartment Buildings (12 – two bedroom units each)
- 12 Green House Assisted Living (one bedroom) apartments.

The project will include proposed roadways, utility services, grading, site work & stormwater management. Walking trails and enhanced storm water management are also proposed.

There is an existing 8" SS public service within Pitts School Road R/W and on-site across the western/front portion of the property. The existing facility is served by an existing private SS service.

The owner is looking to expand their senior housing types, because the campus is currently full & has a growing wait list.

Phase 1 Unit Mix Already Approved:	# of Bedrooms:	GPD /Day
• 26 Single Family Cottages	(2 bedroom)	4,160 GPD
• 24 Villa Apartments	(2 bedroom)	<u>3,840 GPD</u>
	Sub-Total	8,000 GPD

New Phase 1 Request for Amendment:	# of Bedrooms:	GPD /Day
• 12 Green House Apts	(1 bedroom)	1,920 GPD
• 1 Clubhouse Villa Apartments	34 Max Occupancy	<u>170 GPD</u>
	Sub-Total	2,090 GPD

Total Phase 1 Unit Mix Proposed: 10,090 GPD /Day

**TAYLOR GLEN
 A THRIVEMORE COMMUNITY**
 CONCORD, NORTH CAROLINA

CLIENT:
 REED VANDERSLIK
 THRIVEMORE
 1912 BETHABARA RD
 WINSTON SALEM NC 27106

DATE: 12/09/22
 REVISIONS:

DRAWN: KMB, TEG, CEC
 JOB NO: 22-070
 SHEET TITLE:

**OVERALL
 SITE PLAN**

SCALE: 1" = 200'
 SHEET NO.:

C-2.00
 © STIMMEL ASSOCIATES, P.A.

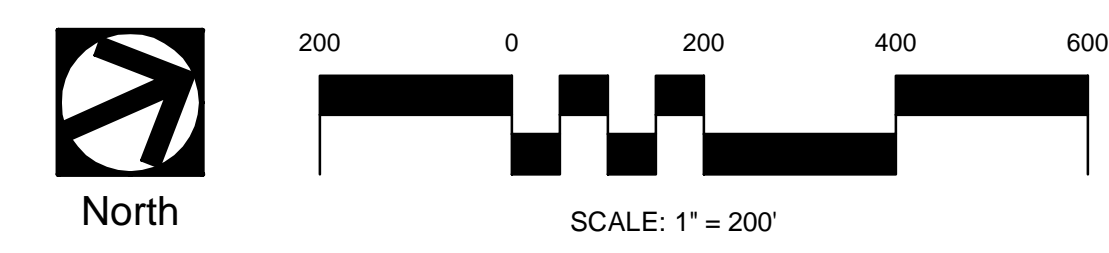
SITE DATA SUMMARY

EXISTING ZONING: O-I-CU (CASE # CUP-02-98 APPROVED ON JUNE 11, 1998)

- ALL SITE LIGHTING AT TAYLOR GLEN SHALL BE DIRECTED AWAY FROM THE ADJOINING RESIDENTIAL PROPERTY
- A COMBINATION OF BERMS, EXISTING PLANT MATERIAL, NEW PLANT MATERIAL, AND/OR FENCING SHALL BE INSTALLED TO PROVIDE AN OPAQUE SCREEN BETWEEN THE INITIAL PHASE OF TAYLOR GLEN AND THE FOLLOWING EXISTING ADJOINING LOTS IN "THE WOODLANDS" SUBDIVISION: 128, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, AND 149
- WHEN COMPLETED, AND AT FULL BUILD OUT, THE TOTAL NUMBER OF UNITS IN TAYLOR GLEN, WITH EACH INDIVIDUAL BED IN THE CONGREGATE CARE UNIT INCLUDED AS A RESIDENTIAL UNIT, SHALL NOT EXCEED THE LIMIT OF UNITS ALLOWED UNDER THE CITY OF CONCORD ZONING ORDINANCE PER THE ORIGINAL PROPERTY ZONING (R-2, R-2.7, AND R-T)
- THE FOLLOWING LAND USES, OTHERWISE PERMITTED IN O-1, SHALL BE EXCLUDED FROM THE PROJECT:
 - ADVERTISING AGENCIES
 - BUSINESS AND SECRETARIAL SCHOOLS
 - CARNIVALS, CIRCUSES, AND FAIRS
 - CEMETERIES
 - CHRISTMAS TREES AND SEASONAL PLANT SALES
 - COLLEGES, UNIVERSITIES AND PROFESSIONAL SCHOOLS
 - COMMERCIAL PRINTING AND LITHOGRAPHY
 - COMPUTER SERVICES
 - CONVENTIONS AND TRADE SHOWS
 - CORRECTIONAL INSTITUTIONS
 - CREDIT UNIONS
 - ELEMENTARY AND SECONDARY SCHOOLS
 - ENGINEERING, ARCHITECTURAL AND SURVEYING SERVICES
 - FUNERAL SERVICES AND CREMATORIES
 - GOVERNMENT OFFICES
 - INSURANCE AGENTS, BROKERS AND SERVICES
 - JOB TRAINING AND VOCATIONAL
 - JUNIOR COLLEGES AND TECHNICAL INSTITUTES
 - MISCELLANEOUS BUSINESS SERVICES
 - MUSEUMS AND ART GALLERIES
 - NEWSPAPER PUBLISHING AND PRINTING
 - PERIODICALS PUBLISHING AND PRINTING
 - PERSONAL SUPPLY SERVICES
 - PROFESSIONAL MEMBERSHIP ORGANIZATIONS
 - PUBLIC AIRPORTS
 - PUBLIC UTILITY OFFICES AND EQUIPMENT STORAGE
 - PUBLIC UTILITY SUBSTATIONS
 - REAL ESTATE AGENTS AND MANAGERS
 - REAL ESTATE OPERATORS AND LESSORS
 - REHABILITATION SERVICES
 - SECURITY AND COMMODITY BROKERS, DEALERS, EXCHANGES, AND SERVICES
 - TELEGRAPH AND OTHER MESSAGE COMMUNICATIONS
 - VETERINARY SERVICES
 - VOCATIONAL SCHOOLS
- THE HEIGHT OF THE TALLEST BUILDING OR BUILDINGS INCLUDED IN TAYLOR GLEN, MEASURED FROM GRADE, SHALL NOT EXCEED THREE (3) STORIES, EXCLUDING ROOF STRUCTURES AND BASEMENTS AS THOSE TERMS ARE DEFINED BY THE NORTH CAROLINA STATE BUILDING CODE.
- SERVICE AND EMERGENCY VEHICULAR ACCESS TO TAYLOR GLEN SHALL BE LIMITED EXCLUSIVELY TO THE PITTS SCHOOL ROAD ENTRANCE.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT TAYLOR GLEN FROM PITTS SCHOOL ROAD.
- ALL ELECTRICAL SERVICES CONTROLLED BY THE BAPTIST RETIREMENT HOMES OF NORTH CAROLINA, INC. AT TAYLOR GLEN, SHALL BE UNDERGROUND.

09/12/2019 APPROVAL CONDITIONS CASE #Z(CD)-16-19
 REZONING FROM O-I-CU TO O-I-D, FOR PINS:

- 5509-09-5299
 - 5509-06-0817
 - 5509-18-0045
- SUBSTANTIAL COMPLIANCE WITH THE "BAPTIST RETIREMENT HOMES, TAYLOR GLEN" CONDITIONAL SITE PLAN DATED 06/28/19, REVISED 09/03/19
 - ALL CONDITIONS FROM THE ORIGINAL CONDITIONAL REZONING (Z-29-97, ORDINANCE #98-47, CUP-02098) REMAIN IN EFFECT.
 - FUTURE MODIFICATIONS/ADDITIONS TO THE APPROVED SITE PLAN MAY REQUIRE FURTHER APPROVAL FROM THE PLANNING AND ZONING COMMISSION.
 - REMOVE THE EXISTING BARBED WIRE FENCE ALONG LOTS 128, 138-149 OF WOODRIDGE CT, NW AND STONEY CREEK DR, NW, AND INSTALL 6 FOOT HIGH EVERGREEN SCREENING BETWEEN THE PROPOSED FENCE AND THE REAR LOT LINES OF LOTS 140-149. EXISTING LANDSCAPE MATERIAL BEHIND THE REMAINING LOTS (150-153) OF STONEY CREEK DR NW WILL PROVIDE SCREENING OF THE PROPOSED FENCE AS INDICATED ON THE SITE PLAN. THE PROPOSED FENCE ALONG LOTS 138-153 SHALL BE 7' IN HEIGHT, BLACK VINYL COATED.
 - THE TOP OF THE FENCE SHALL BE A TENSION WIRE RATHER THAN A SOLID PIPE.



SEALS:

PROJECT:

**TAYLOR GLEN
 A THRIVEMORE COMMUNITY**
 CONCORD, NORTH CAROLINA

CLIENT:

REED VANDERSLIK
 THRIVEMORE
 1912 BETHABARA RD
 WINSTON SALEM NC 27106

DATE: 12/09/22

REVISIONS:

DRAWN: KMB, TEG, CEC

JOB. NO.: 22-070

SHEET TITLE:

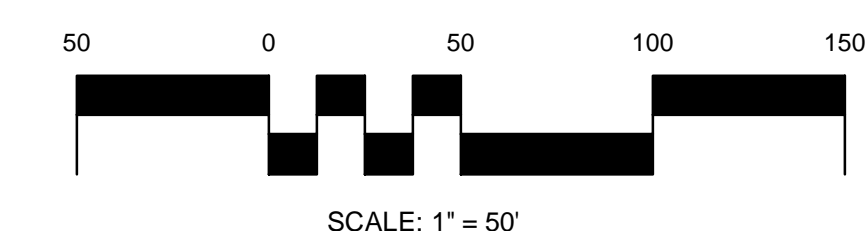
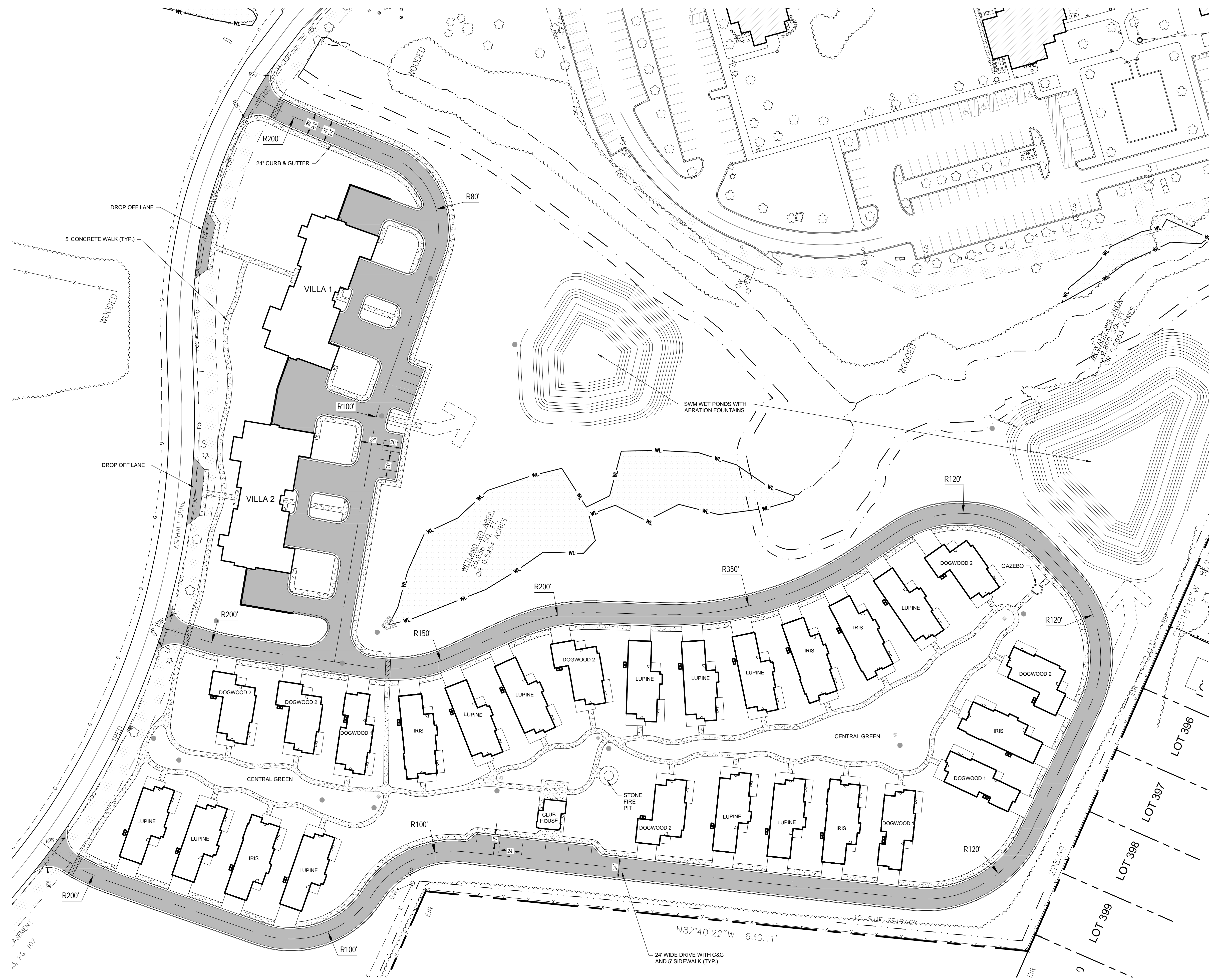
SITE PLAN

SCALE: 1" = 50'

SHEET NO.:

C-2.01

© STIMMEL ASSOCIATES, P.A.



\\stimmelpa.com\projects\22-070\Drawings\SD\22-070_Site_Plan.dwg : South Phase1 : 12/09/22 9:52am

4, PG. 107



stimmeL

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
LAND PLANNING
601 N. TRADE STREET, SUITE 200
WINSTON-SALEM, NC 27101
P: 336.723.1067 F: 336.723.1069
www.stimmelpa.com

SEALS:

PROJECT:

TAYLOR GLEN A THRIVEMORE COMMUNITY

CONCORD, NORTH CAROLINA

CLIENT:

REED VANDERSLIK
THRIVEMORE
1912 BETHABARA RD
WINSTON SALEM NC 27106

DATE: 12/09/22

REVISIONS:

DRAWN: KMB, TEG, CEC

JOB. NO: 22-070

SHEET TITLE:

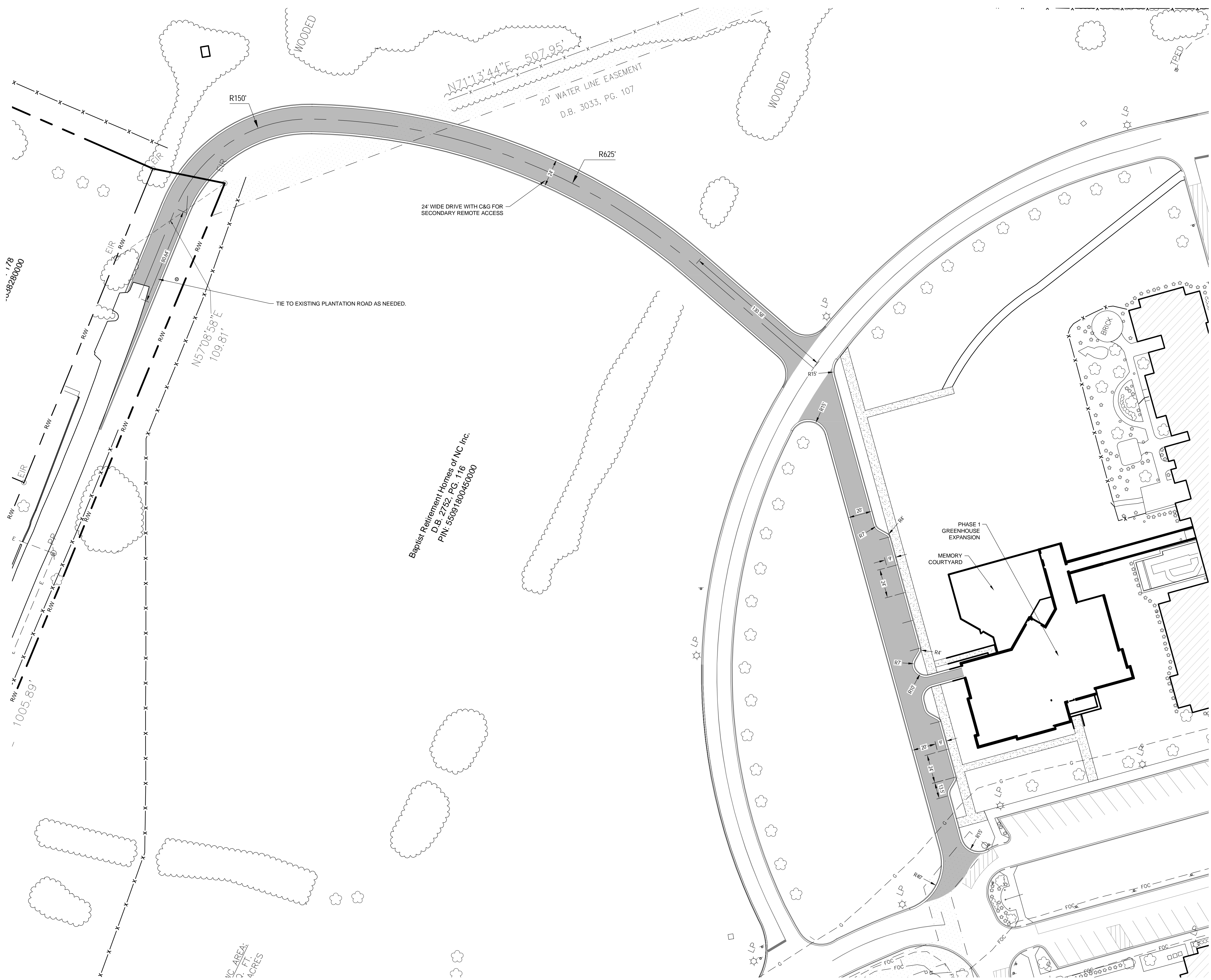
SITE PLAN

SCALE: 1" = 40'

SHEET NO.:

C-2.02

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\\stimmelpa.com\projects\22-070\Drawings\SD\22-070_S01_Site_Plans.dwg : North Phase1 : 12/09/22 9:59am

IC AREA:
2.71
4 ACRES

Baptist Retirement Homes of NC Inc.
D.B. 2752, PG. 116
PIN 5009 1800480000

N71°13'44"E 507.95'
20' WATER LINE EASEMENT
D.B. 3033, PG. 107

TIE TO EXISTING PLANTATION ROAD AS NEEDED.

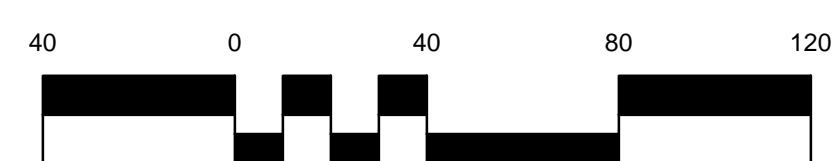
24 WIDE DRIVE WITH C&G FOR
SECONDARY REMOTE ACCESS

PHASE 1
GREENHOUSE
EXPANSION

MEMORY
COURTYARD



North



SCALE: 1" = 40'

Residential: Multi-Family

Parkwood Apartments (CN-PSA-2023-00007)

232 Parkwood Dr. NW

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	12	No	No	No	No	Yes	No

Allocation Request

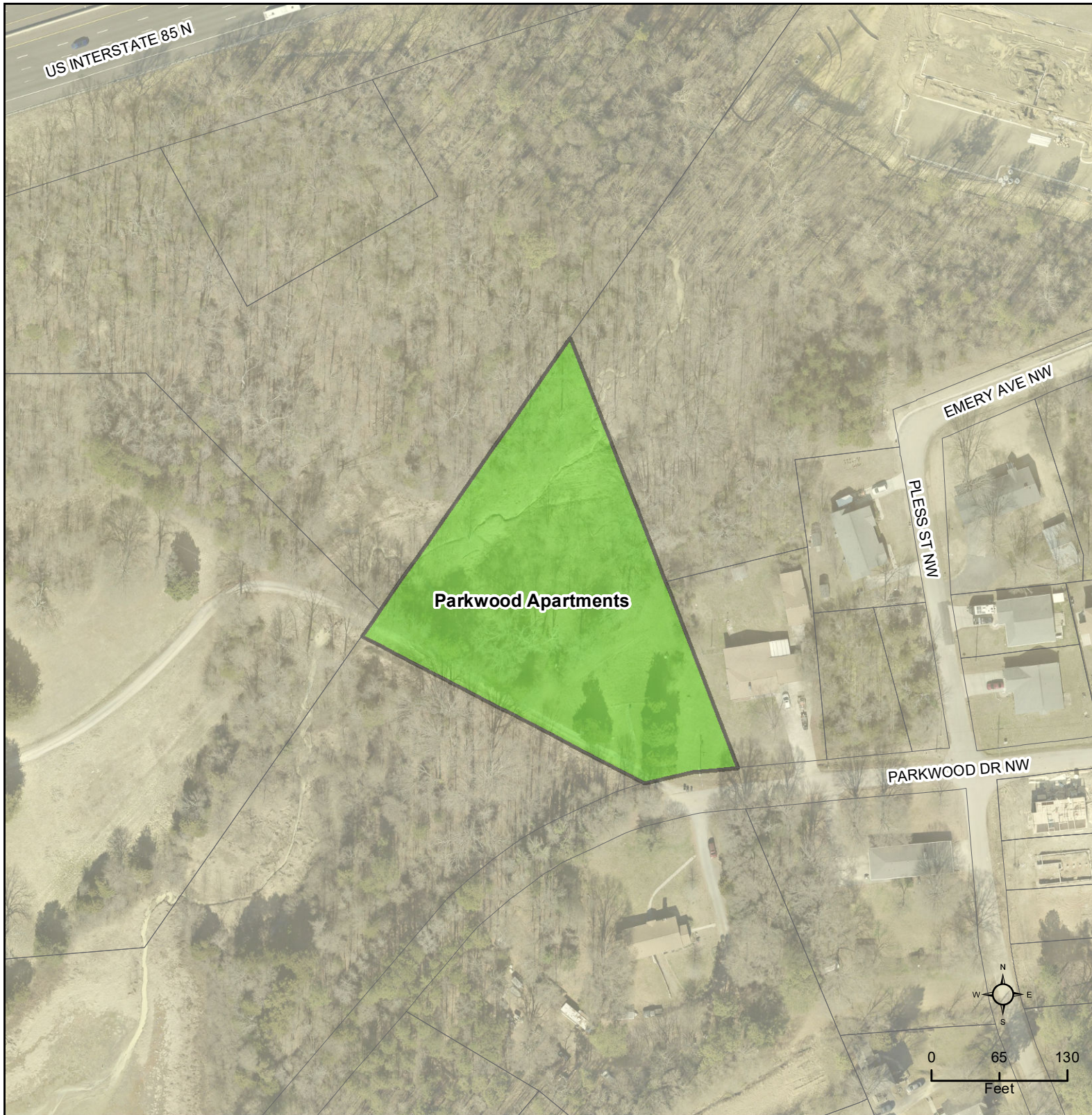
Total	2023
1,920	1,920

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary






The applicant is requesting sewer allocation for 12 apartments on 1.51 acres. This parcel is currently zoned RC and this use is allowed. The applicant says these units will be priced at market rate. This parcel is adjacent to existing sewer and is appearing before council for a second time.

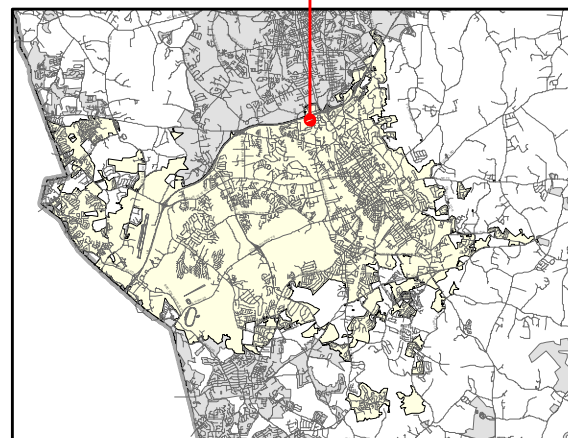


CN-PSA-2023-0007
Parkwood Apartments

Type: Residential
Multifamily
12 multifamily units

Allocation Request: 1,920
Project Score: 1

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Parkwood Apartments			
	2.)	Description of project location:	12 new units located at 232 Parkwood Dr.			
			<small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>			
	3.)	Cabarrus County Parcel Identification Number:	5611-79-8499-0000	3a.)	Parcel Acreage:	1.51
	4.)	Site Zoning and use:	RC-Residential	5.)	Area Commercial or Industrial Building	(sq. ft.) 0
	6a.)	Description of Facility to be served:	Residential	6b.) Number of Lots	1	6c.) Number of Units 12
	7d.)	Additional description information:	Existing residential has been removed, to be replaced with new apartments			
B. Applicant Information	Rohit Patel		Owner		4600 NC Hwy-49 S.	
			<small>(Title)</small>		<small>(Applicant's Street or Box Number)</small>	
			Heaven Properties, LLC		Harrisburg, NC 28075	
			<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>	
			704-778-6490		n/a	
			<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>	
			Peyton Woody	(Name)	pwoody@woodbinedesign.com	(Email)
		<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>		
REQUIRED						
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Riley D. Burgess, Jr. P.E.		Woodbine Design, PC			
			<small>(Typed name of North Carolina Professional Engineer)</small>			
			10051		20816 N. Main St., Ste 204	
			<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>	
			704-315-8367		Cornelius, NC 28031	
			<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>	
		Peyton Woody		pwoody@woodbinedesign.com		
		<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>		

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input checked="" type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

- No
 Yes (Specify or attach effluent documentation)

4.) **Volume of wastewater flow to be allocated for this particular project:** _____ 1920 _____ gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) See **15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per **15A NCAC 02T.0114(c)**, design flow rated for establishments not identified [in **Table 15A NCAC 02T.0114**] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

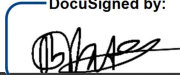
(Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
Dwelling Units 2-bedroom	160	gal/ dwelling	12	GPD	1920
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
			Total	GPD	1920

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, Rohit Patel, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

DocuSigned by:

 BE41DDFE48A846D...
 Signature:

1/17/2023

Date:



blending
nature & man

January 17th, 2023

Subject: Parkwood Apartments “Project Summary”

To Whom It May Concern:

The site consists of one (1) parcel approximately 1.51-acres in size. Parcel number 5611-79-8499-0000. The site is currently vacant and was previously used for a single family residential home. Our proposed new total flow is projected at 1,920-gpd to serve 12 new apartment units. These units will be rented at market rate value for that area. The site is currently zoned RC “Residential Compact”, the proposed use is in compliance with the existing RC zoning which allows for a maximum of 15-dwelling units per acre for a maximum of 22-units. We have cut our proposed development back to 12-units as the previous sewer allocation for 22-units was denied.

www.woodbinedesign.com

20816 N. Main Street, Suite 204 Cornelius, NC 28031

980.722.2669 & 704.315.8367

SITE LEGEND	
PROPOSED CURB & GUTTER	
REVERSED PITCH CURB & GUTTER	
PROPERTY LINE	
LOT LINES	
DECORATIVE FENCING	
PAVEMENT STRIPING	
PAVEMENT	
CONCRETE	
TRAFFIC FLOW	
PARKING BAY COUNT	
SPOT ELEVATION	
HANDICAP RAMP	

LEGEND	
PROPOSED	
795	5' CONTOURS
797	1' CONTOURS
SS	SANITARY SEWER
SS	STORM SEWER
⊙	SANITARY SEWER MANHOLE
⊙	STORM SEWER MANHOLE
⊙	GRATE INLET
⊙	SPOT ELEVATION
EXISTING	
795	5' CONTOURS
797	1' CONTOURS
SS	SANITARY SEWER
SS	STORM SEWER
⊙	SANITARY SEWER MANHOLE (MH)
⊙	STORM SEWER MANHOLE (MH)
⊙	GRATE INLET (C)
⊙	GRATE INLET (YARD INLET (C/R))

DENUDED AREA = 0.90 ac.

PAVEMENT NOTES

- HEAVY DUTY**
HEAVY DUTY PAVING SPECIFICATION (TRUCK PATH)
8" AGGREGATE BASE COURSE
1.5" S9.5B SURFACE COURSE
1.5" S9.5B SURFACE COURSE
- LIGHT DUTY**
LIGHT DUTY PAVING SPECIFICATION
6" AGGREGATE BASE COURSE
2" S9.5B SURFACE COURSE
- GRAVEL DRIVE**
8" STONE BASE
- CONCRETE SIDEWALK**
4" THICK WHEN ADJACENT TO 30" C&G, 3600 PSI CONC.
6" THICK WHEN CROSSING DRIVEWAY OR ADJACENT TO VALLEY C&G, AND 3600 PSI CONC.
- ALL CONCRETE WORK WILL HAVE APPROPRIATELY SPACED CONTROL AND CONSTRUCTION JOINTS.

NOTE: ALL FIRE ACCESS ROADS SHALL BE HEAVY DUTY AND CAPABLE OF SUPPORTING 80,000-LBS FOR FIRE APPARATUS.

GENERAL NOTES

- DIMENSIONS FROM BACK OF CURB (TYP).
- ALL CURB RADI TO BE 5'-0" U.N.O.
- STANDARD PARKING DIMENSIONS:
STD AUTO: 9'-0" WIDE X 19'-0" LONG
PARALLEL AUTO: 9'-0" WIDE X 22'-0" LONG
HANDICAP: 9'-0" WIDE X 22'-0" LONG WITH 5'-0" CLEAR UNLOADING SPACE ADJACENT

ZONING CODE SUMMARY

PROJECT NAME: PARKWOOD APARTMENTS
OWNER: HEAVEN PROPERTIES LLC PHONE # (704) 778-6490
PLANS PREPARED BY: WOODBINE DESIGN, P.C. PHONE # (980) 722-2669
TAX PARCEL ID: 5611-79-8499-0000

LOT SIZE: 65,775-SF or 1.51-AC ZONING: RC JURISDICTION: CONCORD
EXISTING USE: SF - RESIDENTIAL PROPOSED USE: MF - APARTMENTS
PROP. BUILDING HEIGHT: 30 FT. PROP. BUILDING LENGTH: 88 FT.
MAX. ALLOWABLE: 35 FT. MAX. ALLOWABLE: 150 FT.
BUILDING COVERAGE: 5,067 SF. NUMBER OF STORIES: 3
NUMBER OF UNITS: 12 NUMBER OF LOTS: N/A
DENSITY ALLOWED: 15 DUA = 22 UNITS DENSITY PROPOSED: 12 DUA
(SF=SINGLE FAMILY) (MF=MULTIFAMILY)

YARD REQUIREMENTS:

SETBACK (FRONT): 24 FT. SIDE YARD (L): 7 FT.
CORNER YARD: 24 FT. SIDE YARD (R): 7 FT.
REAR YARD: 5 FT. GARAGE SETBACK: N/A FT.
(FROM BACK OF CURB/SIDEWALK)

BUFFER YARD REQUIREMENTS:

FRONT: (NO) / YES _____ REAR: (NO) / YES _____
SIDE (R): (NO) / YES 8' TYPE A SIDE (L): (NO) / YES _____

SCREENING REQUIREMENTS:

FRONT: (NO) / YES 12' CATEGORY 3 REAR: (NO) / YES _____
SIDE (R): (NO) / YES 8' TYPE A SIDE (L): (NO) / YES _____
PARKING: (NO) / YES 8' TYPE A

IMPERVIOUS AREA DATA

WATERSHED: NOT WITHIN A WATERSHED
LESS THAN 1-ACRE DENUDED

PARKING DATA

PARKING REQUIREMENTS PER CONCORD ZONING ORDINANCE SECTION NO. 10.3
PARKING REQUIRED: MIN. = 1.5-SPACES PER UNIT MAX. = 2.5-SPACES PER UNIT
NUMBER OF UNITS: 12
SPACES REQUIRED: 24(MIN) 30(MAX) LOADING REQ'D: N/A
PROVIDED: 24-SPACES PROVIDED: N/A
HC REQUIRED: 1-SPACES BICYCLE REQUIRED: 1:5 UNITS = 2
PROVIDED: 1-SPACES PROVIDED: 2-SPACES

LANDSCAPE NOTES

- ALL PARKING SPACES SHALL BE LOCATED WITH 60'-FT. OF A CANOPY TREE.
- ALL LANDSCAPING SHALL ADHERE TO ARTICLE 11 OF CONCORD'S UNIFIED DEVELOPMENT ORDINANCE.
- NO PLANTINGS SHALL BE PERMITTED WITH 35'x35' SIGHT TRIANGLES.

SEE LANDSCAPE PLAN SHEET C9 FOR REQUIRED PLANTINGS.

OPEN SPACE

LIGHTING & UTILITY NOTES

- ALL PROPOSED UTILITY LINES SHALL BE LOCATED UNDERGROUND AND ADHERE TO ALL APPLICABLE STANDARDS SET FORTH BY THE TOWN/CITY/COUNTY AND/OR UTILITY PROVIDER. SEE UTILITY PLAN FOR DETAILS.
- OUTDOOR AREA LIGHTING SHALL BE PROVIDED FOR SECURITY. SUCH LIGHTING SHALL BE SHIELDED TO DIRECT LIGHT DOWNWARD AND NOT INTO DWELLING UNITS ON, OR ADJACENT TO, THE MULTI-FAMILY SITE. LIGHTING SHALL BE PROVIDED TO ILLUMINATE THE INTERSECTIONS OF PRIMARY INTERIOR DRIVEWAYS AND BUILDING ENTRYWAYS.
- ALL LIGHTING SHALL ADHERE TO THE STANDARDS SET FORTH WITHIN THE TOWN/CITY UNIFIED DEVELOPMENT ORDINANCE AND/OR ZONING ORDINANCE AND ANY OTHER APPLICABLE TOWN/CITY STANDARDS.
- LIGHTING SHALL BE PERMITTED SEPARATELY AND IS NOT INCLUDED WITHIN THIS PLAN SET.

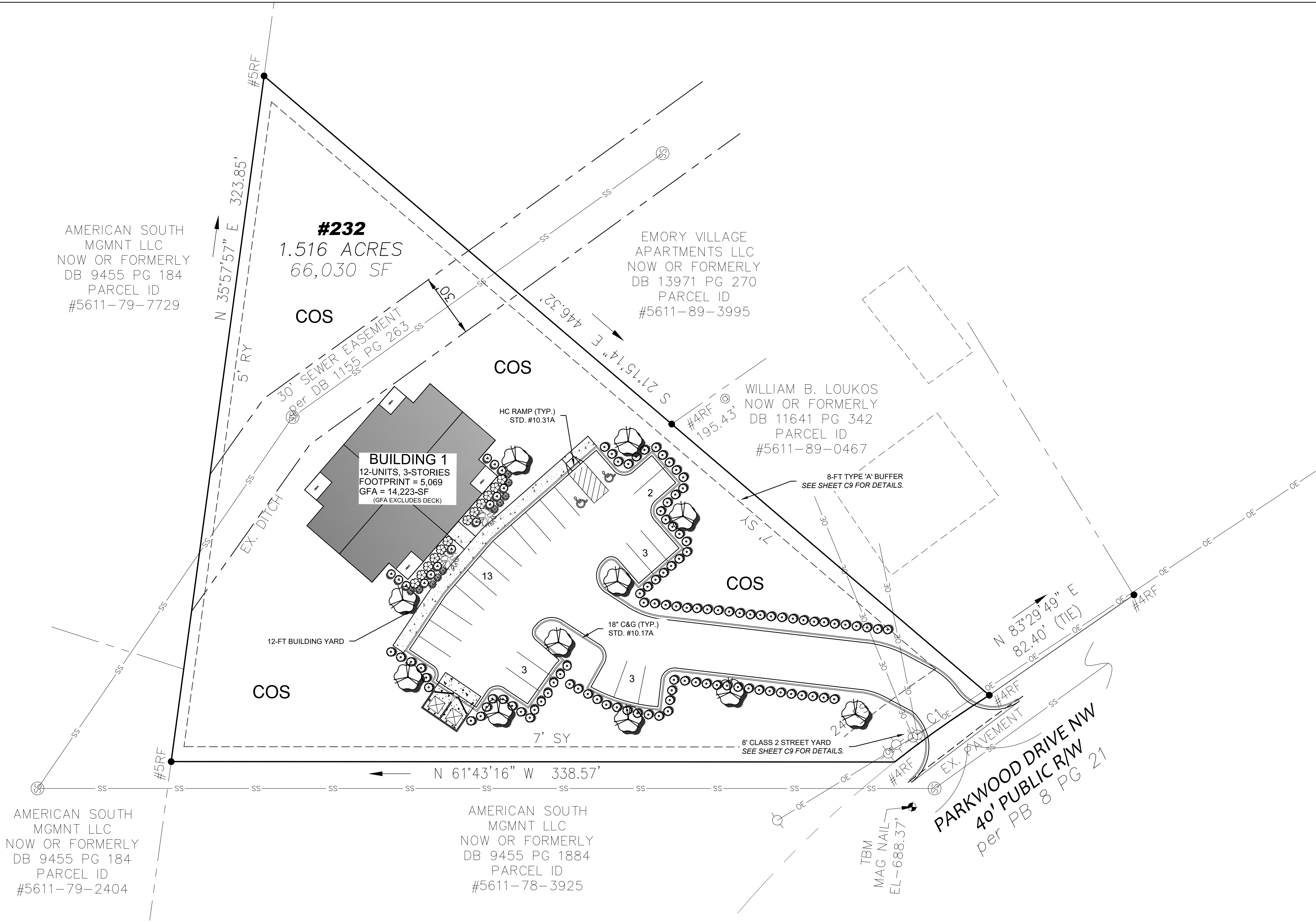
SEE UTILITY PLAN FOR LANDSCAPE DETAILS

TRASH NOTES

(1) 8-CY WASTE DUMPSTER & (1) 8-CY RECYCLING DUMPSTER WILL BE PROVIDED ON SITE. OWNER SHALL BE RESPONSIBLE FOR COORDINATING PRIVATE WASTE AND RECYCLING COLLECTION SERVICE.

PHASING NOTES

NO PROJECT PHASING PROPOSED.



AMERICAN SOUTH
MGMNT LLC
NOW OR FORMERLY
DB 9455 PG 184
PARCEL ID
#5611-79-7729

#232
1.516 ACRES
66,030 SF

EMORY VILLAGE
APARTMENTS LLC
NOW OR FORMERLY
DB 13971 PG 270
PARCEL ID
#5611-89-3995

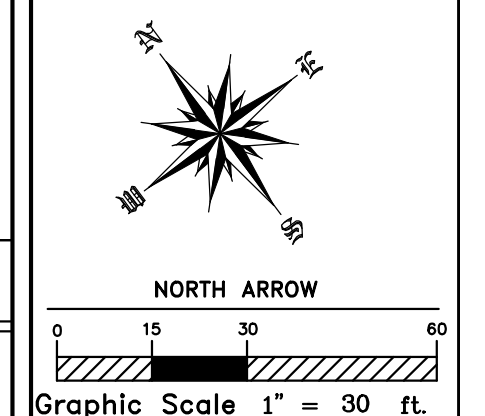
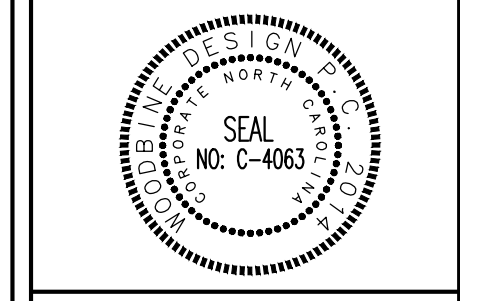
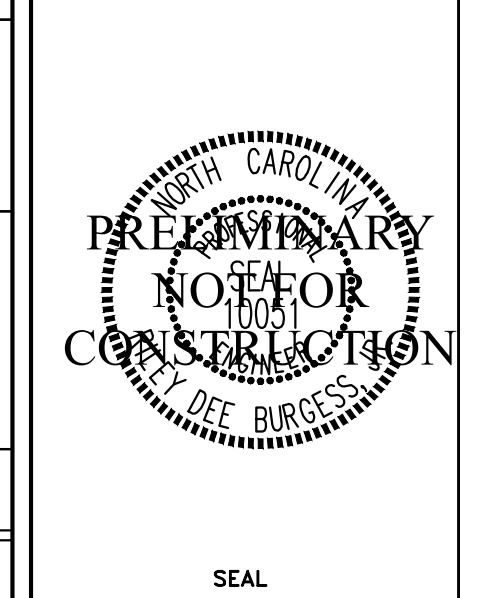
WILLIAM B. LOUKOS
NOW OR FORMERLY
DB 11641 PG 342
PARCEL ID
#5611-89-0467

BUILDING 1
12-UNITS, 3-STORIES
FOOTPRINT = 5,069
GFA = 14,223-SF
(GFA EXCLUDES DECK)

AMERICAN SOUTH
MGMNT LLC
NOW OR FORMERLY
DB 9455 PG 184
PARCEL ID
#5611-79-2404

AMERICAN SOUTH
MGMNT LLC
NOW OR FORMERLY
DB 9455 PG 1884
PARCEL ID
#5611-78-3925

Woodbine Design, P.C.
Land Planning & Civil Engineering
980.722.2669
www.woodbinedesign.com
2123039-232 PARKWOOD APARTMENTS LLC



PARKWOOD APARTMENTS
PARKWOOD RD., CONCORD, NC

SITE PLAN

Project: _____
Location: _____
Sheet Title: _____

DEVELOPER/OWNER
JOUNEY INVESTMENTS, LLC
6220 HUDSPETH RD.
HARRISBURG, NC 28075

Designed By: WOODBINE DESIGN
Drawn By: NA
Date: 1/17/23

Revisions
1/17/23: UNIT COUNT

Sheet: C2 of 12
Project Number: 21013

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

PLOTTED: 1/17/2023
2123039-232 PARKWOOD APARTMENTS LLC

Residential: Multi-Family

Weddington Ridge Apartments Ph 2(CN-PSA-2023-00008/PRS2021-01952)

8150 Weddington Rd.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
6/20/2019	Yes	165	Yes	Yes	Yes	Yes	Yes	No

Allocation Request

Total	2023	2024	2025	2026
26,400	8,000	8,000	8,000	2,400

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	0	0	0	1	0	3

Brief Summary

Weddington Ridge Phase 2 was considered at the March 2022 sewer allocation meeting and did not receive an allocation, so the applicant is requesting reconsideration. The project consists of 165 apartment units in 7 buildings located on Weddington Road. A Special Use Permit was granted by Planning and Zoning Commission on June 19, 2018 for the entire apartment plan. This site is part of the Weddington Road Corridor Plan which recognizes the project.

Outstanding Items

The only three outstanding items at this time, other than sewer allocation, are the NCDEQ sedimentation and erosion control permit, and two other stormwater comments.



CN-PSA-2023-00008

Weddington Ridge Phase 2 - Apartments

Type: Residential

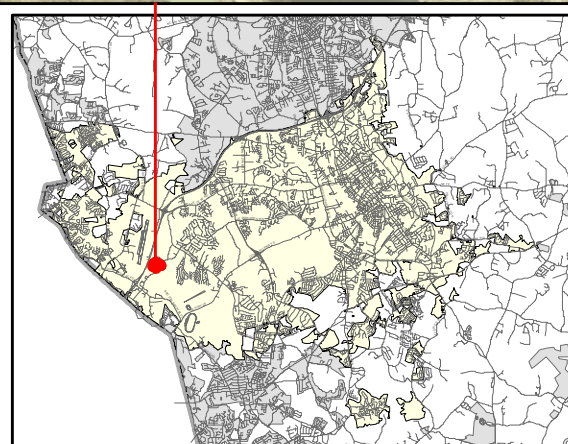
Multifamily

165 multifamily units

Allocation Request: 26,400

Project Score: 3

- Developments
- Parcels
- Rivers
- Concord
- Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Weddington Ridge Phase 2			
	2.)	Description of project location:	8150 Weddington Riad, Concord NC			
			(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))			
	3.)	Cabarrus County Parcel Identification Number:	45992646620000	3a.)	Parcel Acreage:	11.18
	4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building	(sq. ft.)
	6a.)	Description of Facility to be served.	Apartments	6b.) Number of Lots	NA	6c.) Number of Units 165
	7d.)	Additional description information:	Phase 2 is 165 apartment units			
B. Applicant Information	Michael Tubridy		Managing Director		601 S. Tryon St, Suite 800	
			(Title)		(Applicant's Street or Box Number)	
	(Name of legal owner, board, council, and/or authorized official with title, as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)					
	Crescent Acquisitions, LLC		Charlotte, NC 28202			
	(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings as applicable.)		(Applicant's City, State, Zip Code)			
	(315) 480-2883		(Applicant's Facsimile Number)			
		(Applicant's Phone Number)				
	Dan	(Name)	Gualtieri	(Email)	dgualtieri@crescentcommunities.com	
		(Name with Title and Email of contact person, who can answer questions about application)		(Applicant's Email Address)		
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Robert Cash		CESO, Inc			
			(Company Name)			
	(Typed name of North Carolina Professional Engineer)					
	033448		4601 Park Road, Suite 650			
			(Street or Box Number)			
	(NCPE Registration Number)		Charlotte, NC 28209			
(803) 802-1459		(City, State, Zip Code)				
		(Phone Number)				
Peter Day		bob.cash@cesoinc.com				
		(Name and affiliation of contact person, who can answer questions about application & designs)		(Engineer's Email Address)		

April 25, 2022

M. Sue Hyde, PE
City of Concord Engineering Department
PO Box 308
Concord, NC 28026

RE: Weddington Ridge Phase 2
Sanitary Sewer System

Crescent Communities, LLC is proposing to develop a residential community on Weddington Road, in Concord, North Carolina. The development is located on three parcels totaling approximately 48.7 acres and will consist of both multifamily apartments and townhomes to provide high quality, new construction housing to over 400 households who will contribute to the long-term economic growth of Concord. The project includes 297 apartments and 137 townhomes. Crescent Communities projects a total investment of over \$120 million in the development of this neighborhood, including nearly \$90 million of construction work. The project is located within the Weddington Road Area Plan and includes the construction of a new public street connecting Weddington Road and Ruben Linker Road, improving connectivity in this area.

Although the project is broken up into three phases for permitting, Crescent intends to develop this project all at once due to the substantial earthwork and infrastructure required to develop this site.

In general, the subject site is located on the west side of Weddington Road, in Concord, North Carolina. The rectangular-shaped site is bounded by Weddington Road to the East, I-85 to the West, a multi-family development to the South, and both single family homes and businesses to the north. The existing zoning is C-2, a SUP was obtained in 2018 to allow for the development of multifamily in the C-2 zoning. The approved SUP proposed townhomes on the western half of the site (Phase 3) which allows the townhomes to be developed in the existing C-2 zoning.

The apartments proposed for Phase I and II of this development will include a mix of 1- and 2-bedroom units, with market rents. Site amenities include a community pool and building, nature walking trails, as well as an easement dedication for a future greenway connection. The apartment project will have a NGBS (National Green Building Standard) Bronze green building certification.

A willingness to serve letter was obtained for Phase 1 of the development on 11/17/2020 (requires that the project commence construction within two years) as well as a private sewer permit from NCDEQ on 7/13/2021. The approved allocation was to serve Phase I consisting of multifamily apartment buildings. Crescent Communities is requesting the allocation for Phase 2 of the development which will complete the multifamily portion of the project (297 total apartment units). Our Phase II sewer allocation request is for 26,400 gpd.

While Phase I was allocated 40,630 gpd, the City of Concord was recently granted a flow reduction for 1- and 2-bedroom apartments by NCDEQ (reduced from 240 gpd to 160 gpd), therefore there are 17,760 gpd in excess capacity allocated to Phase I. This excess capacity could be allocated to Phase II (if the City of Concord will allow), thereby reducing our request for Phase II from 26,400 gpd to 8,640 gpd.

We are nearing approval of our land development plans for Phase I-III, as well as have submitted our architectural drawings for building permit. Construction is anticipated to commence for all three portions of the development once we receive the remaining sewer capacity allocation needed for the entire project (as defined as "Phase II" and "Phase III" for planning and permitting purposes).

We believe this development will be a great location for new and existing Concord residents to call home as it provides a convenient location to access the jobs, amenities and community that the City of Concord has to offer.

Respectfully,

A handwritten signature in black ink, appearing to read 'R. Cash', written in a cursive style.

Robert Cash, PE
Senior Program Director, Civil Engineering

Initials: RLC

CITY OF CONCORD, CABARRUS COUNTY, NORTH CAROLINA
PHASE 2 CONSTRUCTION DOCUMENTS

FOR
WEDDINGTON RIDGE APARTMENTS

8150 WEDDINGTON ROAD
 CONCORD, NORTH CAROLINA

OWNER/DEVELOPER:
 CRESCENT ACQUISITION, LLC
 601 SOUTH TRYON STREET, SUITE 800
 CHARLOTTE, NC 28202
 PHONE: (315) 480-2883
 CONTACT: DAN GUALTIERI

ARCHITECT:
 FKHPPE
 PO BOX 14802
 GREENSBORO, NC 27415
 PHONE: (336) 681-5441
 CONTACT: FRANK PARK

ENGINEER:
 CESO, INC.
 4601 PARK ROAD SUITE 650
 CHARLOTTE, NC 28209
 PHONE: (803) 802-1459
 CONTACT: ROBERT CASH, PE

GOVERNING AGENCIES AND UTILITY COMPANIES:

ZONING:
 PLANNING & NEIGHBORHOOD
 DEVELOPMENT DEPARTMENT
 35 CABARRUS AVE W CONCORD,
 NC 28025
 PHONE: (704) 920-5152

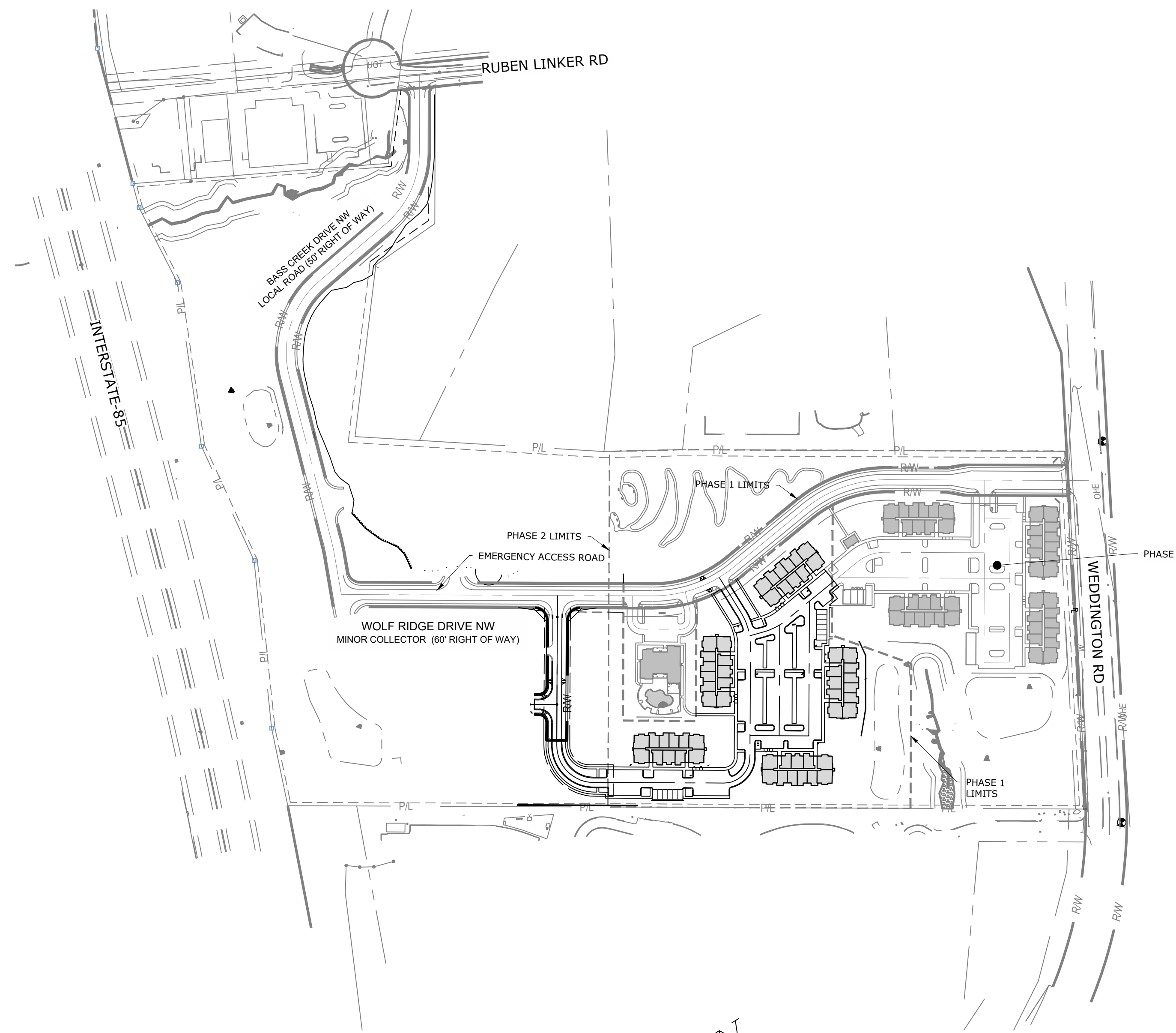
CITY OF CONCORD ENGINEERING DEPARTMENT:
 WASTEWATER
 635 ALFRED BROWN JR. COURT SW CONCORD, NC 28025
 PHONE: (704) 920-5342

WATER RESOURCES
 635 ALFRED BROWN JR. COURT SW CONCORD, NC 28025
 PHONE: (704) 920-5300

STORMWATER SERVICES DEPARTMENT
 635 ALFRED BROWN JR. COURT SW CONCORD, NC 28025
 PHONE: (704) 920-5555

PHASE 2 PROPERTY DATA:

PARCEL OWNER:	BRIGEM LLC	
PARCEL ID:	45992646620000	
ADDRESS:	8150 WEDDINGTON RD CONCORD, NC 28027	
PROPERTY AREA:	±11.1 AC	
ZONING:	C-2	
PROPOSED USE:	MULTIFAMILY RESIDENTIAL (ALLOWED WITH SPECIAL USE PERMIT)	
	<u>REQUIRED</u>	<u>PROPOSED</u>
BUILDING SETBACKS		
FRONTAGE ALONG STREET:	50'	50'
SIDE:	20'	20'
REAR:	20'	20'
PARKING AREA SETBACKS		
FRONT:	20'	20'
SIDE:	20'	20'
REAR:	20'	20'
MAXIMUM BUILDING HEIGHT:	35'	30'
BUILDING AREA:	9.88 AC	
PARKING:		
TOTAL PARKING SPACES:	248	248
ADA PARKING SPACES:	10	10
FLOODPLAIN DESIGNATION:	THE SITE IS WITHIN THE SPECIAL FLOOD HAZARD ZONE X (500-YEAR).	



OVERALL PROJECT PLAN
 SCALE: 1" = 200'

SURVEY PROVIDED BY:
 GPA PROFESSIONAL LAND SURVEYORS
 605 PHILLIP DAVIS DRIVE CHARLOTTE, NC
 PHONE: (704) 335-8600
 CONTACT: CHRIS DELLA MEA
 DATED: 06/04/2019

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY GPA. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

BENCHMARK				
	ELEVATION*	NORTHING**	EASTING**	DESCRIPTION
A	677'-6.7200"	596576'-4.8000"	1493437'-7.9200"	PK NAIL IN ASPHALT
B	641'-3.4800"	595765'-3.2400"	1492985'-6.1200"	PK NAIL IN ASPHALT

* VERTICAL DATUM: NAD83
 ** HORIZONTAL DATUM: NAD83 - NORTH CAROLINA GRID NORTH, US FOOT



LOCATION MAP
 NO SCALE



VICINITY MAP
 NO SCALE

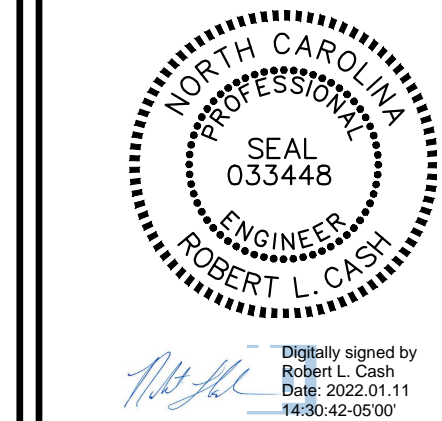
SHEET LIST TABLE	
SHEET #	SHEET TITLE
C0.00	COVER SHEET
C1.00	GENERAL NOTES
C4.00A	MASTER SITE PLAN
C4.00	OVERALL SITE PLAN
C4.01	SITE PLAN
C4.02	ROADWAY PLAN AND PROFILE
C4.03	INTERSECTION DETAILS
C5.00	OVERALL GRADING PLAN
C5.01	GRADING PLAN
C5.02	GRADING PLAN
C5.03	BASIN 4 DETAIL
C5.04	STORM PROFILES
C5.05	STORM PROFILES
C5.06	STORM PROFILES
C5.07	DRAINAGE MAP
C6.00	OVERALL UTILITY PLAN
C6.01	PRIVATE UTILITY PLAN
C6.02	FIRE PROTECTION PLAN
C7.00	SANITARY PLAN AND PROFILES
C9.00	DETAILS
C9.01	STORM MANAGEMENT SYSTEM DETAILS
C9.02	WATER AND STORM DETAILS
C9.03	STORM MANAGEMENT SYSTEM DETAILS
C9.04	UTILITY DETAILS
L1.00	LANDSCAPE PLAN
L1.01	LANDSCAPE DETAILS



REVISION DESCRIPTION
 NO. DATE

CESO NC, Co.
 3601 RIGBY ROAD, STE 300
 MIAMISBURG, OH 45342
 (937) 435-8584
 COA: C-4740

ROBERT CASH, PE
 BOB.CASH@CESOINC.COM



CRESCENT ACQUISITIONS, LLC
**WEDDINGTON RIDGE
 APARTMENTS PHASE 2**

COVER SHEET

ISSUE:
 CONSTRUCTION DOCUMENTS
 DATE:
 10/22/21
 JOB NO.: 759024-01
 DESIGN: JCR
 DRAWN: JCR
 CHECKED: RLC
 SHEET NO.
C0.00



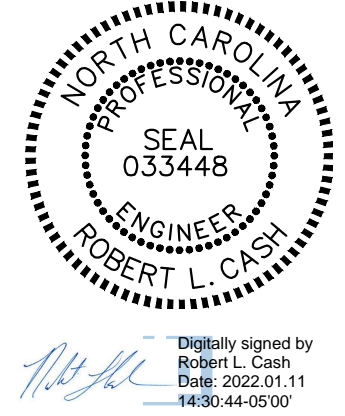
SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR, (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE

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REVISION DESCRIPTION
NO. DATE

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3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
(937) 435-8584
COA: C-4740

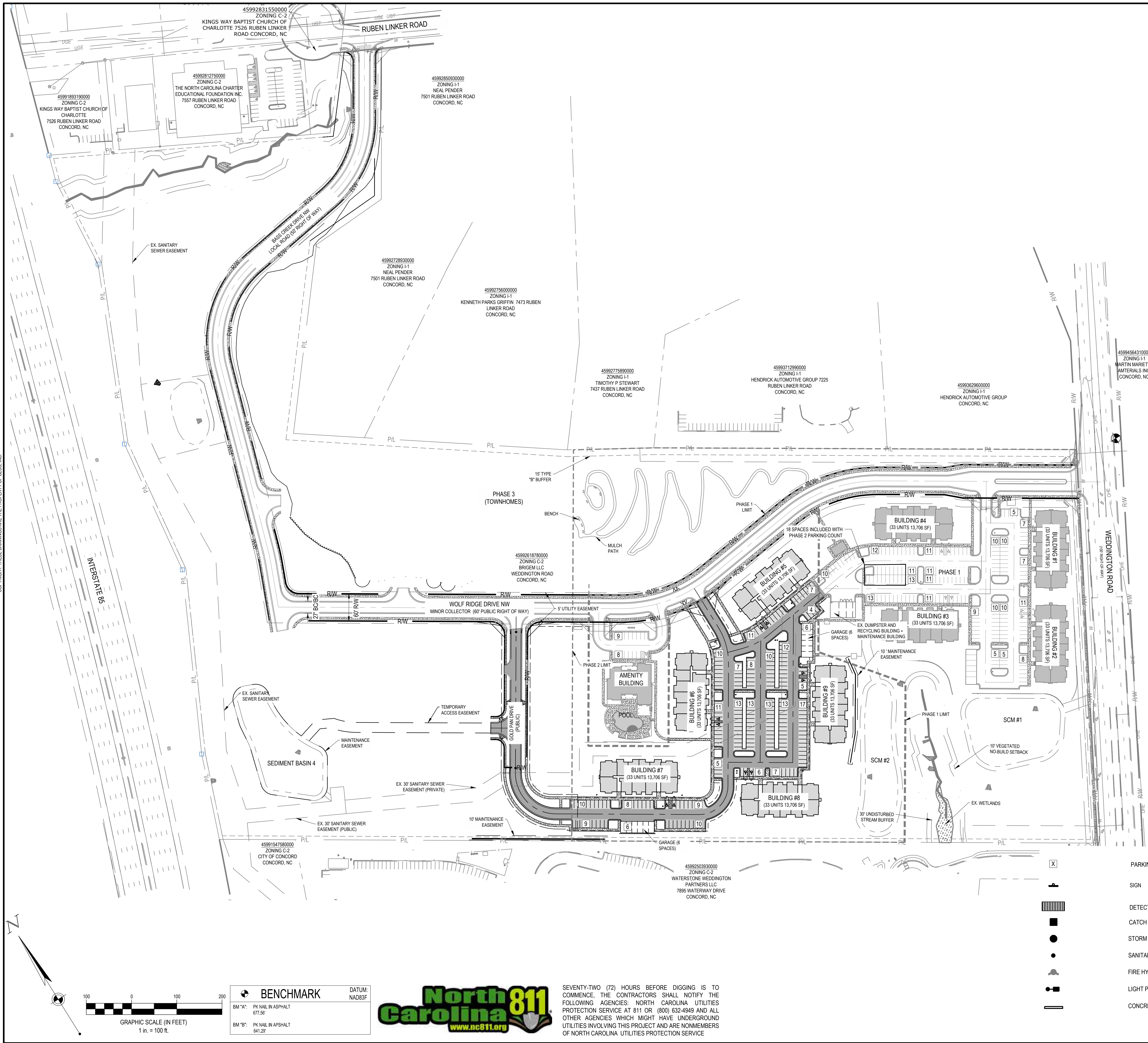
ROBERT CASH, PE
BOB.CASH@CESOINC.COM



CRESCENT ACQUISITIONS, LLC
WEDDINGTON RIDGE APARTMENTS PHASE 2
WEDDINGTON ROAD, CONCORD, NC


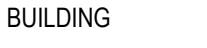

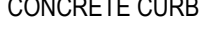

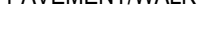





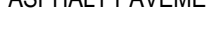


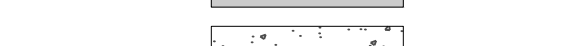

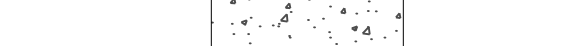
OVERALL SITE PLAN

ISSUE:
CONSTRUCTION DOCUMENTS
DATE:
10/22/21
JOB NO.: 759024-01
DESIGN: JCR
DRAWN: JCR
CHECKED: RLC
SHEET NO.
C4.00

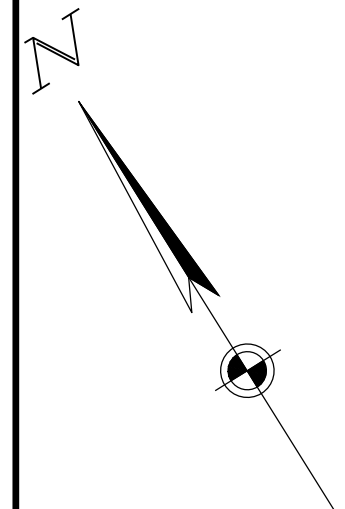


PHASE 2 PROJECT DATA TABLE	
SITE ADDRESS	WEDDINGTON ROAD, CONCORD, NC
GROSS SITE AREA:	448.7 AC
PHASE 1 & 2 AREA:	22.1 ACRES
P.I.D. NO.:	4599264620000
EXISTING ZONING:	C-2
PROPOSED USE:	MULTIFAMILY RESIDENTIAL (ALLOWED WITH SPECIAL USE PERMIT)
MAXIMUM DENSITY:	15 DUA
BUILDING SPACING:	20' MINIMUM + 1' FOR EVERY FOOT OVER 30' HIGH
LARGEST BUILDING SIZE:	13,706 SF/FL (41,118 TOTAL)
CONSTRUCTION TYPE:	TYPE V (WOOD FRAME)
MAXIMUM BUILDING LENGTH:	180 FT
PROPOSED BUILDING LENGTH:	176.5 FT
MAXIMUM BUILDING HEIGHT:	35 FT
PROPOSED BUILDING HEIGHT:	30 FT
FRONT SETBACK:	50' (20' IF ALL PARKING IS BEHIND THE BUILDING)
SIDE AND REAR SETBACK:	20'
PROPOSED # OF UNITS:	165 APARTMENT UNITS 2-BEDROOM 60 UNITS 1-BEDROOM 105 UNITS
REQUIRED PARKING:	1.5 - 2.5/UNIT = 248 SPACES MINIMUM
PROPOSED PARKING:	248 SPACES 1.50/UNIT
PROPOSED GARAGE PARKING:	2 GARAGE(S) WITH 6 SPACES EACH
PROPOSED OPEN PARKING:	232 SPACES
IMPERVIOUS:	
BUILDING:	68,530 SF
PAVEMENT AND SIDEWALK:	100,064 SF
TOTAL ONSITE:	168,594 SF (3.87 AC)
OFFSITE ROAD AND SIDEWALK:	1,322 SF
Basin:	20,343 SF
OVERALL TOTAL:	190,259 SF (4.37 AC)
WATERSHED:	YADKIN-PEE DEE RIVER BASIN
DRAINAGE BASIN:	YADKIN-PEE DEE RIVER
PHASE 2 DENSITY:	(33 UNIT X 5 BUILDINGS) / 11.12 ACRES = 14.8 DUA
PHASE 2 OPEN SPACE	(2.14 ACRES / 11.12 ACRES) X 100 = 19% OPEN SPACE

LEGEND
EXISTING
REFER TO C1.00 FOR EXISTING FEATURES
LEGEND
PROPOSED

PARKING SPACE COUNT		BUILDING	
SIGN		CONCRETE CURB	
DETECTABLE WARNING MAT.		PAVEMENT/WALK	
CATCH BASIN		RETAINING WALL	
STORM MANHOLE		PROPOSED HEAVY DUTY ASPHALT PAVEMENT.	
SANITARY & STORM CLEANOUTS		PROPOSED LIGHT DUTY ASPHALT PAVEMENT.	
FIRE HYDRANT		PROPOSED CONCRETE PAVEMENT	
LIGHT POLE		PROPOSED CONCRETE SIDEWALK	
CONCRETE BUMPER BLOCK			

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BENCHMARK DATUM: NAD83F
BM "A": PK NAIL IN ASPHALT 671.56'
BM "B": PK NAIL IN ASPHALT 641.29'

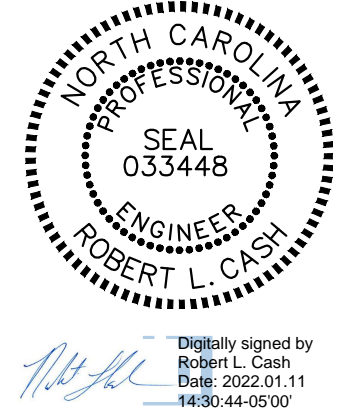


SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE



REVISION DESCRIPTION
NO. DATE

CESO NC, Co.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
(937) 435-8584
COA: C-4740
ROBERT CASH, PE
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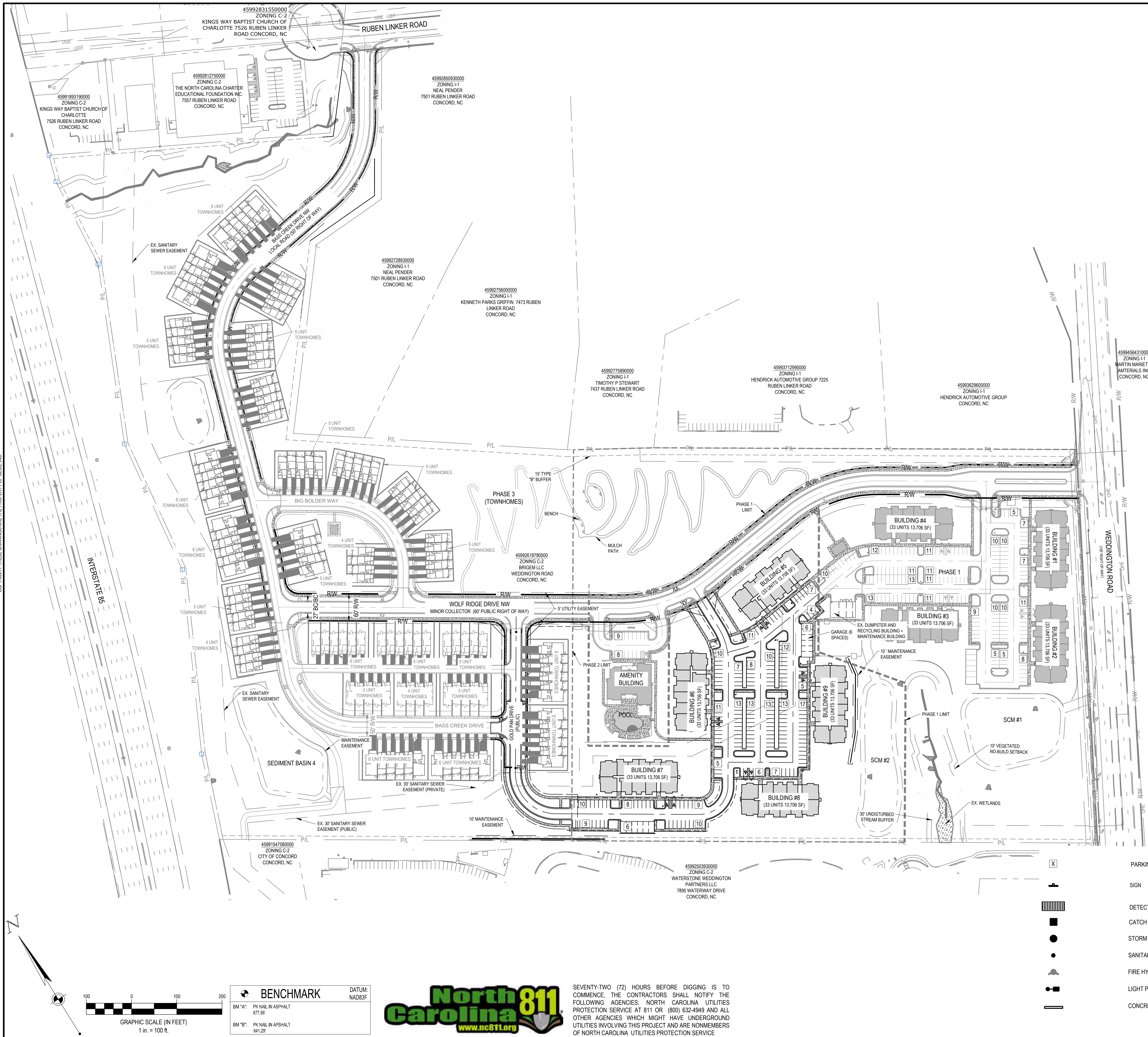


CRESCENT ACQUISITIONS, LLC WEDDINGTON RIDGE APARTMENTS PHASE 2

MASTER SITE PLAN

ISSUE:
CONSTRUCTION DOCUMENTS
DATE:
10/22/21
JOB NO.: 759024-01
DESIGN: JCR
DRAWN: JCR
CHECKED: RLC
SHEET NO.
C4.00A

OVERALL PROJECT DATA TABLE	
SITE ADDRESS	WEDDINGTON ROAD, CONCORD, NC
GROSS SITE AREA:	±48.7 AC
PHASE 1 & 2 AREA:	22.1 ACRES
P.I.D. NO.:	4599264620000
EXISTING ZONING:	C-2
PROPOSED USE:	MULTIFAMILY RESIDENTIAL (ALLOWED WITH SPECIAL USE PERMIT)
MAXIMUM DENSITY:	15 DUA
BUILDING SPACING:	20' MINIMUM + 1' FOR EVERY FOOT OVER 30' HIGH
LARGEST BUILDING SIZE:	13,706 SF/FL (31,677 TOTAL)
CONSTRUCTION TYPE:	TYPE V (WOOD FRAME)
MAXIMUM BUILDING LENGTH:	180 FT
PROPOSED BUILDING LENGTH:	176.5 FT
MAXIMUM BUILDING HEIGHT:	35 FT
PROPOSED BUILDING HEIGHT:	30 FT
FRONT SETBACK:	50' (20' IF ALL PARKING IS BEHIND THE BUILDING)
SIDE AND REAR SETBACK:	20'
PROPOSED # OF APT UNITS:	
PHASE 1	132 APARTMENT UNITS
PHASE 2	165 APARTMENT UNITS
TOTAL	297 APARTMENT UNITS
REQUIRED PARKING:	1.5 - 2.5/UNIT = 446 SPACES MINIMUM
PROPOSED PARKING:	453 SPACES 1.53/UNIT
PROPOSED GARAGE PARKING:	3 GARAGE(S) WITH 6 SPACES EACH
PROPOSED OPEN PARKING:	435 SPACES
WATERSHED:	YADKIN-PEE DEE RIVER BASIN
DRAINAGE BASIN:	YADKIN-PEE DEE RIVER
TOTAL DENSITY:	(33 UNIT X 9 BUILDINGS) / 22.1 ACRES = 13.4 DUA
TOTAL OPEN SPACE	(4.6 ACRES / 22.1 ACRES) X 100 = 21% OPEN SPACE



LEGEND

EXISTING
REFER TO C1.00 FOR EXISTING FEATURES
LEGEND
PROPOSED

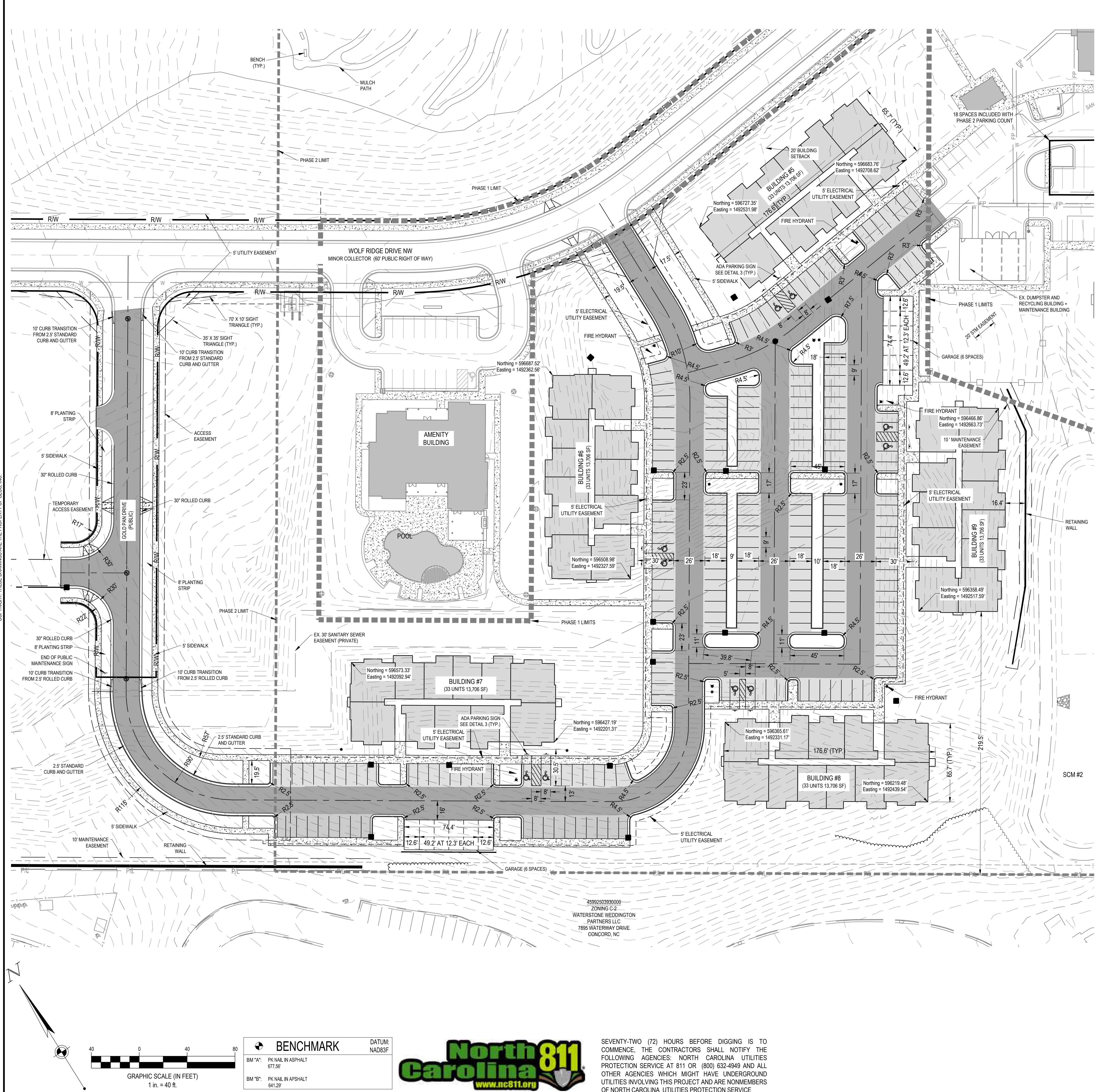
	PARKING SPACE COUNT		BUILDING
	SIGN		CONCRETE CURB
	DETECTABLE WARNING MAT.		PAVEMENT/WALK
	CATCH BASIN		RETAINING WALL
	STORM MANHOLE		PROPOSED HEAVY DUTY ASPHALT PAVEMENT.
	SANITARY & STORM CLEANOUTS		PROPOSED LIGHT DUTY ASPHALT PAVEMENT.
	FIRE HYDRANT		PROPOSED CONCRETE PAVEMENT
	LIGHT POLE		PROPOSED CONCRETE SIDEWALK
	CONCRETE BUMPER BLOCK		

BENCHMARK DATUM: NAD83F
 BM "A": PK NAIL IN ASPHALT 671.56'
 BM "B": PK NAIL IN ASPHALT 641.29'

North Carolina 811
www.nc811.org

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE

GRAPHIC SCALE (IN FEET)
1 in. = 100 ft.



LOCATION MAP
NO SCALE

PHASE 2 PROJECT DATA TABLE	
SITE ADDRESS	WEDDINGTON ROAD, CONCORD, NC
GROSS SITE AREA:	±48.7 AC
PHASE 1 & 2 AREA:	22.1 ACRES
P.I.D. NO.:	4599264620000
EXISTING ZONING:	C-2
PROPOSED USE:	MULTIFAMILY RESIDENTIAL (ALLOWED WITH SPECIAL USE PERMIT)
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BUILDING SPACING:	20' MINIMUM + 1' FOR EVERY FOOT OVER 30' HIGH
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FRONT SETBACK:	50' (20' IF ALL PARKING IS BEHIND THE BUILDING)
SIDE AND REAR SETBACK:	20'
PROPOSED # OF UNITS:	165 APARTMENT UNITS 2-BEDROOM 60 UNITS 1-BEDROOM 105 UNITS
REQUIRED PARKING:	1.5 - 2.5/UNIT = 248 SPACES MINIMUM
PROPOSED PARKING:	248 SPACES 1.50/UNIT
PROPOSED GARAGE PARKING:	2 GARAGE(S) WITH 6 SPACES EACH
PROPOSED OPEN PARKING:	232 SPACES
IMPERVIOUS:	
BUILDING:	68,530 SF
PAVEMENT AND SIDEWALK:	100,064 SF
TOTAL ONSITE:	168,594 SF (3.87 AC)
OFFSITE ROAD AND SIDEWALK:	1,322 SF
BASIN:	20,343 SF
OVERALL TOTAL:	190,259 SF (4.37 AC)
WATERSHED:	YADKIN-PEE DEE RIVER BASIN
DRAINAGE BASIN:	YADKIN-PEE DEE RIVER
PHASE 2 DENSITY:	(33 UNIT X 5 BUILDINGS) / 11.12 ACRES = 14.8 DUA
PHASE 2 OPEN SPACE:	(2.14 ACRES / 11.12 ACRES) X 100 = 19% OPEN SPACE

LEGEND

REFER TO C1.00 FOR EXISTING FEATURES
LEGEND
PROPOSED

PARKING SPACE COUNT		BUILDING	
SIGN		CONCRETE CURB	
DETECTABLE WARNING MAT.		PAVEMENT/WALK	
CATCH BASIN		RETAINING WALL	
STORM MANHOLE		PROPOSED HEAVY DUTY ASPHALT PAVEMENT.	
SANITARY & STORM CLEANOUTS		PROPOSED LIGHT DUTY ASPHALT PAVEMENT.	
FIRE HYDRANT		PROPOSED CONCRETE PAVEMENT	
LIGHT POLE		PROPOSED CONCRETE SIDEWALK	
CONCRETE BUMPER BLOCK			



NO.	DATE	REVISION DESCRIPTION

CESO NC, Co.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
(937) 435-8584
COA: C-4740

ROBERT CASH, PE
BOB.CASH@CESOINC.COM



CRESCENT ACQUISITIONS, LLC
WEDDINGTON RIDGE APARTMENTS PHASE 2
WEDDINGTON ROAD, CONCORD, NC

SITE PLAN

ISSUE:	CONSTRUCTION DOCUMENTS
DATE:	10/22/21
JOB NO.:	759024-01
DESIGN:	JCR
DRAWN:	JCR
CHECKED:	RLC
SHEET NO.	C4.01

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4599264620000
ZONING C-2
WATERSTONE WEDDINGTON PARTNERS LLC
7895 WATERWAY DRIVE
CONCORD, NC



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE

Residential: Multi-Family

1267 Winecoff School Rd. Multi-family Residential (CN-PSA-2023-00012)

1267 Winecoff School Rd.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	76	No	No	No	No	No	No

Allocation Request

Total	2023	2024
18,240	12,000	6,240

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	0	0	1	0	2

Brief Summary

The applicant is proposing to build 76 three-bedroom units. The zoning for the project is residential compact (RC) and allows for maximum density of 15 units per acre.



CN-PSA-2023-00012

1267 Winecoff School Rd Multifamily






Type: Residential

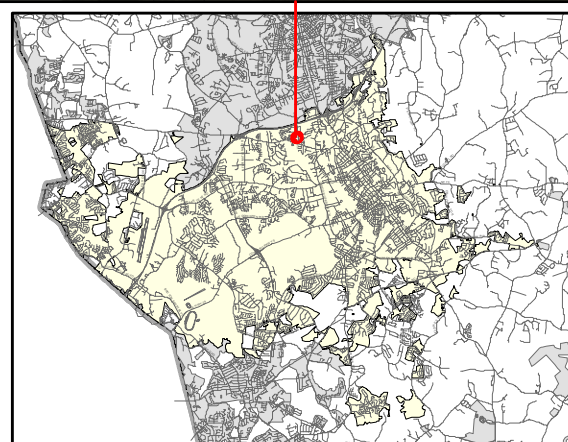
Multifamily

76 multifamily units

Allocation Request: 18,240

Project Score: 2

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	1267 Winecoff School Road Multifamily Residential			
	2.)	Description of project location:	Located on SR-1790, 1,200 ft north of the intersection of SR-1790 and NC-73 <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>			
	3.)	Cabarrus County Parcel Identification Number:	56115763710000 & 56115765780000	3a.)	Parcel Acreage:	+/- 5.13
	4.)	Site Zoning and use:	RC	5.)	Area Commercial or Industrial Building	(sq. ft.) 0
	6a.)	Description of Facility to be served:	Residential development	6b.) Number of Lots	-	6c.) Number of Units Max 76 units
	7d.)	Additional description information:	Max 76 dwelling units based on 15 units/acre max density for RC zoning			

B. Applicant Information	Anil K Anumukonda	president	407 Sutro Forest Dr. NW
	<small>(Name of legal owner, board, council, and/or authorized official with title: as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>
	Firstray Realty, LLC		Concord, NC 28027
	<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>
	704-488-3290		
	<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>
	Jacob B. Levan, PE (Name)	jacoblevan@cesicgs.com (Email)	anil.anumukonda@gmail.com
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>	

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available	Jacob B. Levan, PE	Concord Engineering & Surveying, Inc. (CESI)
	<small>(Typed name of North Carolina Professional Engineer)</small>	<small>(Company Name)</small>
	055054	PO Box 54
	<small>(NCPE Registration Number)</small>	<small>(Street or Box Number)</small>
	7047077639	Statesville, NC 28687
	<small>(Phone Number)</small>	<small>(City, State, Zip Code)</small>
	Jacob B. Levan, PE - design engineer	jacoblevan@cesicgs.com
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>	<small>(Engineer's Email Address)</small>	

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input checked="" type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 18,240 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

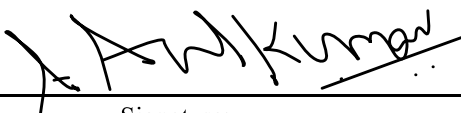
5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114
 a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
 b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.
{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
Residential Units	80	gal/ bedroom	228 bedrooms	GPD	18,240
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
			Total	GPD	18,240

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, Anil Anumukonda, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.



Signature:

01/18/2023

Date:



January 19, 2023

Preliminary Sewer Allocation Project Narrative for

1267 Winecoff School Road
Concord, NC 28027

The purpose of this application is to be granted preliminary sewer allocation for 1267 Winecoff School Rd. in Concord, NC. The allocation requested is based on residential development in the RC zoning district, which has a max density of 15 units per acre. The development would be on a combined parcel area of 5.13 acres (parcels 56115763710000 and 56115765780000).

15 units per acre * 5.13 acres yields a maximum of 76 units for this development.

The requested preliminary allocation is for 76 3-bedroom units at 80 gpd per bedroom = 18,240 gpd.

Jacob B. Levan, PE
Professional Engineer
jacoblevan@cesicgs.com
704-707-7639

CESI – Statesville Branch Office
Civil – Geotechnical – Surveying
PO Box 54, Statesville, NC 28687
642D Signal Hill Drive Extension, NC 28625 (704) 657-4180
NCBELS Firm License C-0263

Residential: Multi-Family

Parkway Junction (CN-PSA-2023-00017)

169 George W. Liles Pkwy. NW

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
01/12/2023	Yes	108	No	No	No	Yes (as single family)	No	No

Allocation Request

Total	2023	2024	2025
23,360	10,080	8,000	5,280

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	0	0	0	1	0	3

Brief Summary

The applicant is requesting 108 units off of George W. Liles Parkway NW near the Publix Shopping Center. This parcel is zoned RV (residential village) and they are showing 8 dwelling units per acre. This project falls inside of the George W. Liles Small Area Plan. The applicants were awarded 24,800 gpd for a total of 108 single family detached homes. They are now back requesting to get allocation for a redesign of the project to multi-family due to the units being on one parcel or tract of land and not individually subdivided.



CN-PSA-2023-00017

Parkway Junction






Type: Residential

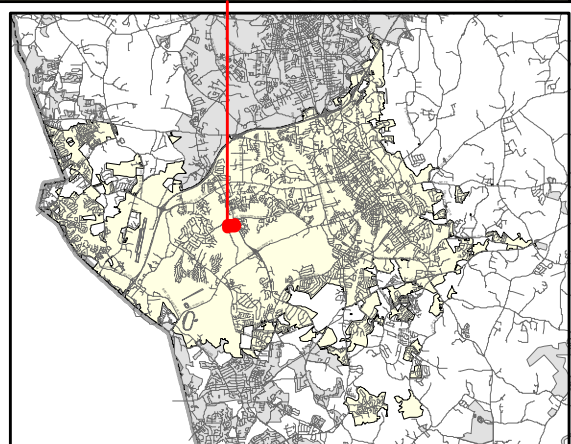
Multifamily

108 multifamily units

Allocation Request: 23,360

Project Score: 3

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Parkway Junction			
	2.)	Description of project location:	800' south of the Weddington Rd. (1431) / George W. liles Pkwy (1430) intersection <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>			
	3.)	Cabarrus County Parcel Identification Number:	5600-52-2778	3a.)	Parcel Acreage:	13.5851 ac.
	4.)	Site Zoning and use:	RV	5.)	Area Commercial or Industrial Building	(sq. ft.) n/a
	6a.)	Description of Facility to be served.	108 residential dwellings	6b.) Number of Lots	1	6c.) Number of Units 108
	7d.)	Additional description information:	Blackburn Communities intends on developing a 108 single family style and town home style multifamily community with a pool and clubhouse.			
	B. Applicant Information	E.D.G.E. LLC <small>(signing party Glen Tucker)</small>		825 Sisk Avenue, Suite 200		
<small>(Title)</small>		<small>(Applicant's Street or Box Number)</small>				
Blackburn Communities, LLC		Oxford, MS 38655				
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>				
828.333.8985		n/a				
<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>				
Greg Angelo <small>(Name)</small> gangelo@blackburngroup.net <small>(Email)</small>		gangelo@blackburngroup.net				
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>				
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Matthew Mobley		Design Resource Group			
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>			
	034267		2459 Wilkinson Blvd, Suite 200			
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>			
	704.343.0608		Charlotte, NC 28208			
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>			
Matthew Mobley		matthew@drgrp.com				
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>				

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input checked="" type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

100%	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 23,360 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

(Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
2 bedroom dwellings	160	gal/	82	GPD	13,120
3 bedroom dwellings	240	gal/	26	GPD	6,240
clubhouse	50	gal/ 100 sf	5,000	GPD	2,500
Pool	10	gal/ person	150 people	GPD	1,500
		gal/		GPD	
		gal/		GPD	
			Total	GPD	23,360

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Greg Angelo, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Greg Angelo

1/19/2023

Signature:

Date:

Members of City Council
City of Concord
January 20, 2023

Dear Members of City Council,

The proposed Parkway Junction community was previously awarded sewer allocation for 108 single family detached homes. Subsequently we identified a more expansive wetland area on the property. As a result, and in conjunction with detached lot size requirements, we have modified the community plan to include detached single-family homes as well as a townhome style of housing. We previously requested 24,800 gpd for our site, and with the changes we have made, are now requesting a reduced allocation of 23,360 gpd.

The site is 13.6 acres in size and located on George W. Liles Parkway, adjacent to and south of the Publix retail center, within "Area A" of the George W. Liles Parkway Small Area Plan. The Property is just over 2 miles from The Grounds at Concord, providing a short commute to employment, as it continues to grow in the area.

The Property is zoned Residential Village (RV). Parkway Junction will comprise of a combination of 108 single-family detached and attached townhomes, at a density of 8 homes per acre, consistent with its RV zoning. The site plan has been designed to preserve the existing pond and approximately 2.0 acres of wetlands, provide additional open space and walking paths, and include onsite amenity areas, a pool and clubhouse.

Parkway Junction will provide connectivity and walkability with the adjacent Publix center, retail shops and restaurants to promote a mixed-use community and support the vision of George W. Lyles Parkway Small Area Plan. Our community will also connect to the existing Greenway and future multi-use paths for both bicycle and pedestrian use.

Thank you for your time, and we appreciate your consideration of this community for sewer allocations.

Sincerely,



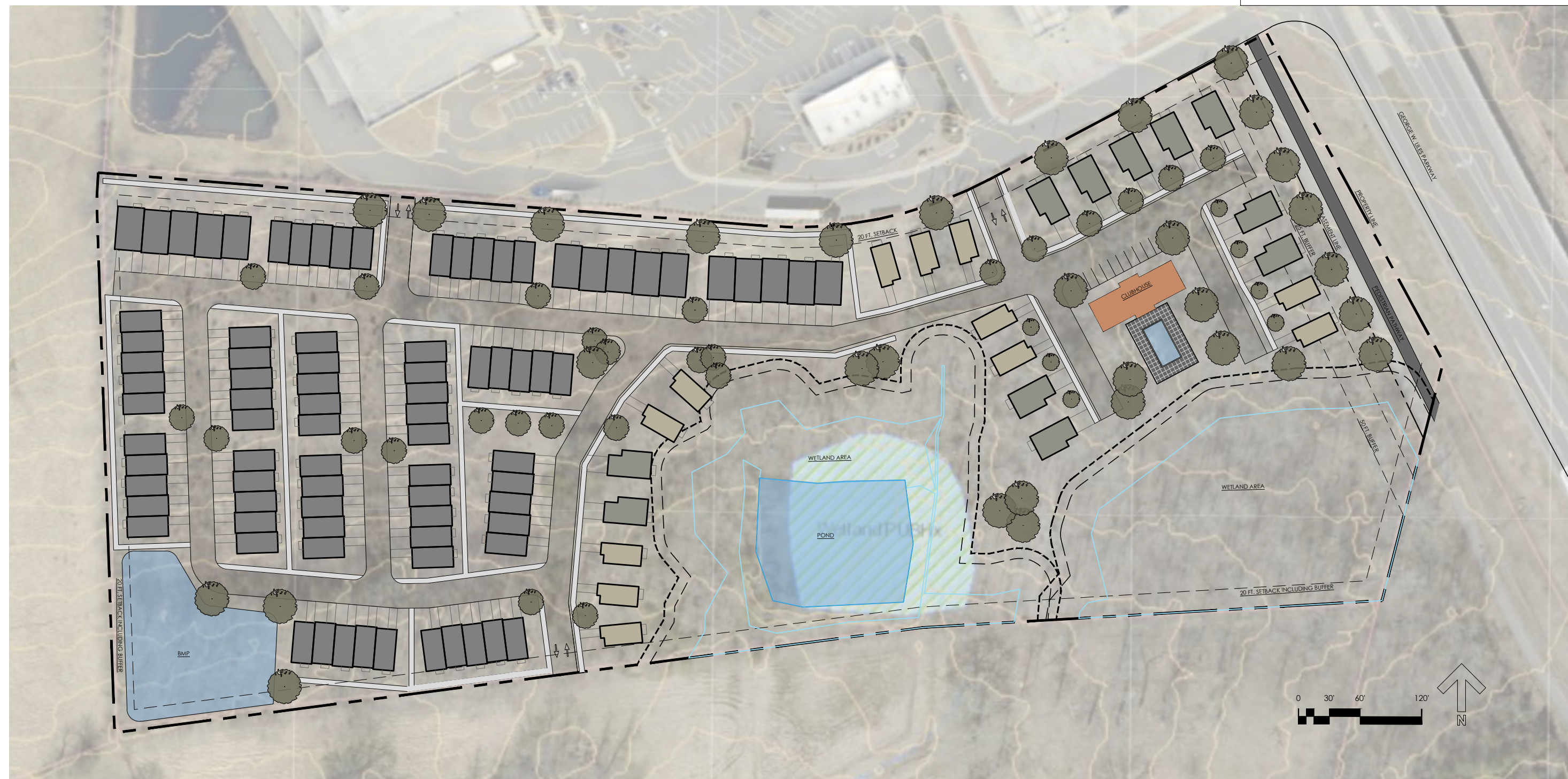
Greg Angelo
Blackburn Communities, LLC

PROPERTY ID:	PIN: 5600-52-2778-0000
PROPERTY ACREAGE:	13.5851 ACRES
ZONING:	RV
ALLOWED DENSITY PER ACRE:	8
PROPOSED DENSITY PER ACRE:	8
IMPERVIOUS SURFACE:	0.5 RATIO
FRONT SETBACK:	24 FEET MIN.
SIDE SETBACK:	20 FEET MIN.
REAR SETBACK:	20 FEET MIN.
BUILDING HEIGHT:	35 FEET MAX.
TOTAL SINGLE FAMILY HOMES:	108

- 23 SINGLE FAMILY DETACHED (12) 2-BED HOMES / (11) 3-BED HOMES)

- 2 BED / 2.5 BATH UNIT - 70 TOTAL UNITS

- 3 BED / 2.5 BATH UNIT - 15 TOTAL UNITS



Residential: Multi-Family

River Rock Easy Living at Davidson Hwy and Winecoff Sch Rd (CN-PSA-2023-00021)

2821 Davidson Hwy.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
1/14/21	Yes	99	No	No	Yes	Yes	Yes	No

Allocation Request

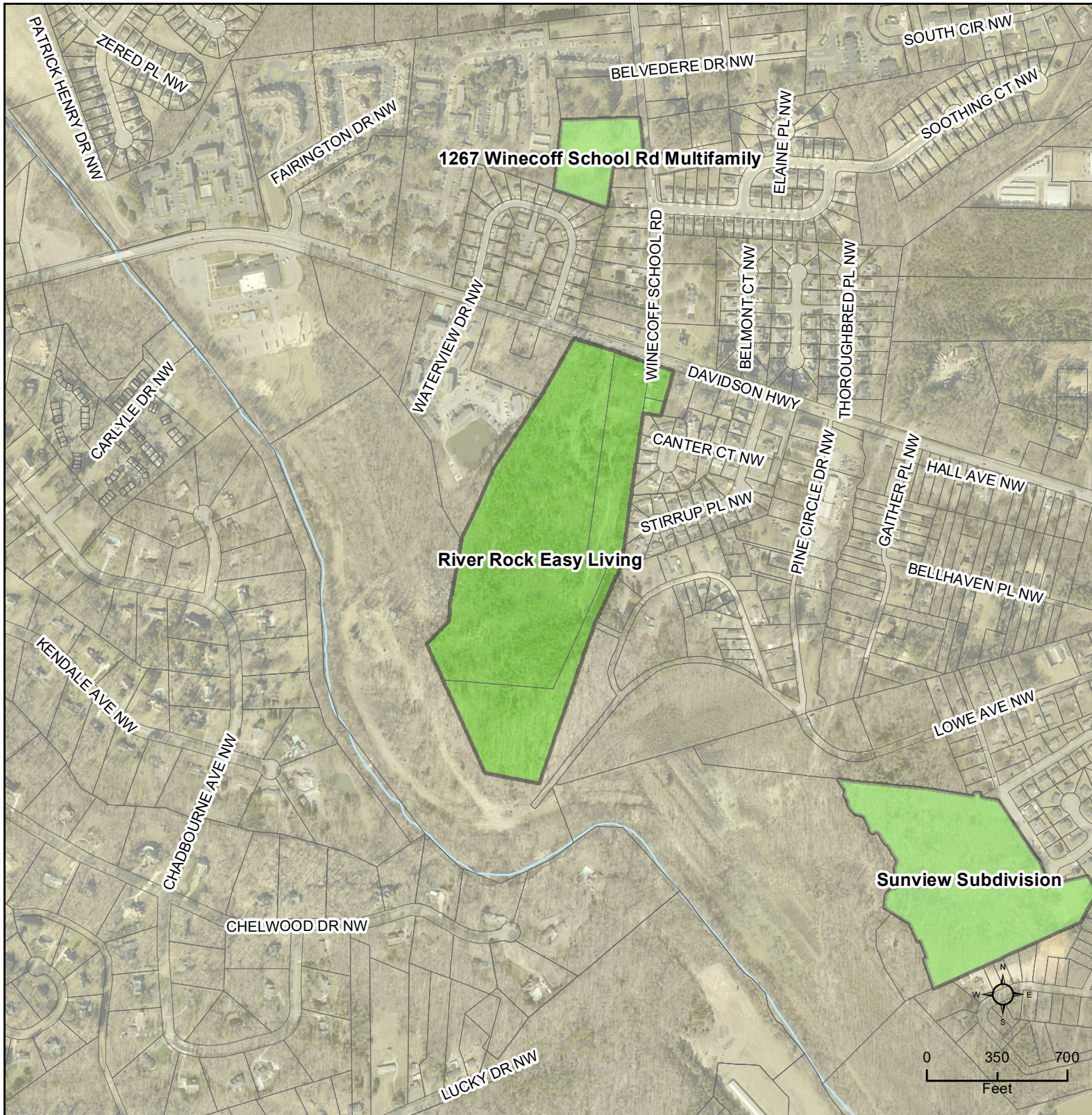
Total	2023	2024
15,840	8,000	7,840

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	0	0	1	0	2

Brief Summary






The applicant is requesting sewer allocation for 99 townhomes at 2821 Davidson Hwy. A rezoning request was approved by the Planning and Zoning Commission on January 18, 2022, and the Special Use Permit was considered and approved on February 15, 2022. The rezoning petition did not indicate that the lots would be subdivided, therefore making this fall under the multifamily allocation. The special use permit would not have been necessary for single family attached, but was necessary for multi-family. The application indicates single family residential subdivision. The applicant is planning to construct ranch style units and provide a natural walking path throughout the open space area.

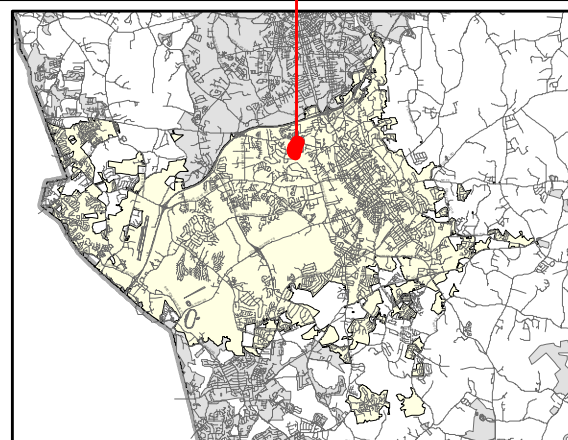


CN-PSA-2023-00021
River Rock Easy Living

Type: Residential
 Multifamily
 99 multifamily units

Allocation Request: 15,840
 Project Score: 2

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	River Rock Easy Living, 55 & Over, Active Adult Community			
	2.)	Description of project location:	Site located on the south side of Davidson Highway at the intersection of Winecoff School Road <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>			
	3.)	Cabarrus County Parcel Identification Number:	3a.)	Parcel Acreage:	+/- 31.74	
	4.)	Site Zoning and use:	5.)	Area Commercial or Industrial Building	(sq. ft.) 210,960	
	6a.)	Description of Facility to be served:	6b.) Number of Lots	4	6c.) Number of Units	99
	7d.)	Additional description information:	Unique housing types to accommodate 55 & over/senior residents to remain in the City of Concord.			

B. Applicant Information			517 Alcove Road, 302			
			<small>(Applicant's Street or Box Number)</small>			
			Mooresville, NC 28117			
			<small>(Applicant's City, State, Zip Code)</small>			
			980-223-6026			
			<small>(Applicant's Phone Number)</small>			
			dhughes@riverrcap.com			
		<small>(Applicant's Email Address)</small>				
		<small>(Name with Title and Email of contact person, who can answer questions about application)</small>				

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available	Marc R Van Dine		McAdams Engineering			
			<small>(Typed name of North Carolina Professional Engineer)</small>			
			036289			
			<small>(NCPE Registration Number)</small>			
			704-287-6756			
			<small>(Phone Number)</small>			
			vandine@mcadamsco.com			
		<small>(Engineer's Email Address)</small>				
		<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>				

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):		2.) The type of wastewater is (indicate percentage):	
<input checked="" type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____	3.) Pretreatment required: <input type="radio"/> No <input checked="" type="radio"/> Yes (Specify or attach effluent documentation) _____	

4.) Volume of wastewater flow to be allocated for this particular project: _____ gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

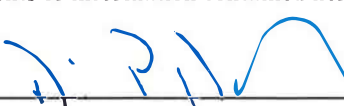
(Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
2 Bedroom Dwelling	160 gal/ dwelling	99	GPD 15,840
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 15,840

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Dan Hughes , the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.


 Signature: _____ Date: 01/23/2023

55 & Over, Active Adult, Age Restricted, Senior, Easy Living Community

(Intersection of Davidson Highway & Winecoff School Road)

Below are several key points as to why this project should be granted sewer allocation at the March 21st, 2023, City Council hearing:

- * The site is located adjacent to an existing sewer.
- * The site is a redevelopment site.
- * The residences are universal & diverse
- * 15% of the homes will be dedicated to Veterans.
- * All units will be built to current accessible standards.
 - No stairs into & within each home (“Zero Steps”)
 - Installation of grab bar blocking within all bathrooms
 - Circulation throughout the homes will be wide enough to accommodate wheelchairs & walkers.
- * Satisfies needs of an underserved population including those with disabilities.
- * Allows transition for aging adults, grandparents.
- * Contribution of 38 acres which equates to a total donation of \$1,344,706 to the City to be added to the future Irish Buffalo Greenway.

Narrative for Sewer Allocation Application 55 & Over Active Adult, Senior, Easy Living Community (At the Intersection of Davidson Highway & Winecoff School Road)

Below are several key points as to why this project along the south side of Davidson Highway at its intersection with Winecoff School Road should be considered & granted sewer allocation in 2022.

- * Unique, low density housing type targeted to active adults who are 55 & over which is currently not available in the general area.



- * The proposed land use of this project is consistent with the City's adopted land use policies considering growth (2030 Land Use Plan) & development. It is also compatible with nearby developments.

- * This project is located adjacent to an existing sewer line.

- * This project promotes the public health by providing walkways along all streets and via the 5-foot-wide natural walking path throughout the +/- 3.88-acre active open space area.



- * This project well exceeds the minimum City standards specific to open space (48% provided) & tree preservation (28% provided).

- * The project will consist of 33 buildings. Each building will have 3 units within it. All buildings will be a single story,

ranch style unit. The development can be completed in 2 phases.

- * This project will increase tax base within the City of Concord and will not negatively impact local schools.

- * The Traffic Impact Analysis for this project has been approved by the City and NCDOT with all mitigation measures to be constructed both on and offsite.

- * The conditional rezoning (Residential Village Conditional District) was approved by the Planning & Zoning Commission at their January 18, 2022, hearing. The Special Use Permit application was also approved by the Planning & Zoning Commission on February 15, 2022.



Narrative for Sewer Allocation Application 55 & Over Active Adult, Senior, Easy Living Community (At the Intersection of Davidson Highway & Winecoff School Road)

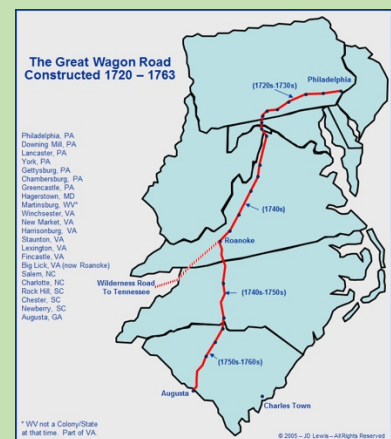
* River Rock Development is purchasing the +/- 38 acres (south & west of the project) which will be contributed to the City for a significant segment of the future Irish Buffalo Greenway. This contribution on a per acre price equates to +/- \$35,387 or a total of \$1,344,706. While a large expense, River Rock Development recognizes its commitment to the City of Concord and supports the quality of life of its citizens.

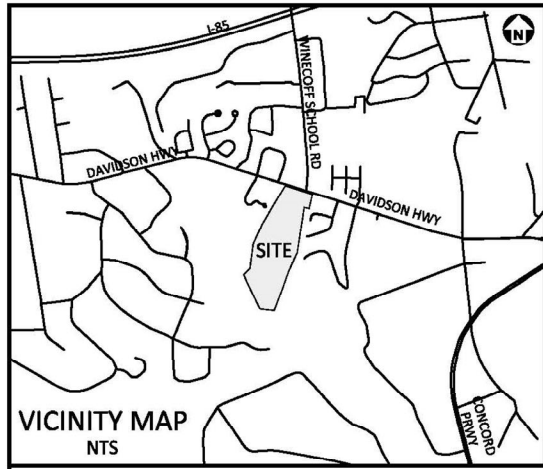
* Zero-step entries & accessible doorways & hardware to allow ADA accessibility within each unit. Minimal sloping driveways will also contribute to accessibility.

* The project will include signage and monument features to incorporate the history of The Great Wagon Road which was critical to the development of North Carolina in the 1700s.



* The underlying land has been in a local Concord resident's family for over 200 years.





SITE DATA

DEVELOPER/APPLICANT
RIVER ROCK CAPITAL PARTNERS
517 ALCOVE ROAD, SUITE 302
MOORESVILLE, NC 28117

PID: 5611554639, 5611557793, 5611660107, 5611569073

EXISTING ZONING: RM-2 & RC

PROPOSED ZONING: RV (CD)

MINIMUM PERIMETER SETBACKS
ALONG DAVIDSON HWY: 25' TYPE D BUFFER

SIDE: 8' TYPE A BUFFER WITH 20' BUILDING SETBACK
REAR: 8' TYPE A BUFFER WITH 20' BUILDING SETBACK

DEVELOPMENT AREA
AREA: ±31.74 AC
LOT COUNT: 99 UNITS
LOT DENSITY: 3.12 UNITS/AC
OPEN SPACE PROVIDED: ± 14.88 AC
STORMWATER DETENTION PROVIDED: ± 1.28 AC

LINEAR FEET OF ROADS:
STREET 'A' - 303
STREET 'B' - 1,163
STREET 'C' - 980
STREET 'D' - 417

TOTAL DEVELOPMENT

REQUIRED OPEN SPACE: 15% OF GROSS SITE OR 4.76 AC (31.74 AC x 15%)
PROVIDED ACTIVE OPEN SPACE: ± 5.79 AC
TOTAL PROVIDED OPEN SPACE: ± 14.88 AC

PROVIDED TREE SAVE: 29.5% OF GROSS SITE OR ± 9.36 AC

REQUIRED STREET TREES: 1 SHADE TREE EACH SIDE OF ROAD PER 50'
PROVIDED STREET TREES: 2,863 FEET OF STREETS = 115 REQUIRED TREES (LOCATION OF STREET TREES TBD)

REQUIRED STREET CONNECTIVITY RATIO: 1.4
PROVIDED STREET CONNECTIVITY RATIO: 1.5 (9 LINKS / 6 NODES)

TOTAL ACREAGE OF RIGHT-OF-WAY: ± 3.76 AC
TOTAL ACREAGE OF SUBLOTS: ± 4.64 AC

IMPERVIOUS AREA
STRUCTURES = 210,960 SF
STREETS = 93,530 SF
SIDEWALKS = 34,719 SF
DRIVEWAYS = 50,284 SF
TOTAL IMPERVIOUS = 389,493 SF
MAXIMUM IMPERVIOUS PER ZONING: 50% OF GROSS SITE OR ± 15.87 AC
PROVIDED IMPERVIOUS (ACREAGE): 28.17 OR ± 8.94 AC

MINIMUM SETBACKS

FRONT BUILDING SETBACK: 20 FEET
FRONT GARAGE SETBACK: 24 FEET
REAR SETBACK: 10 FEET
CORNER SETBACK: 20 FEET

PARKING COUNT

REQUIRED (1.5 PER DWELLING): 149 SPACES
33 DWELLINGS WITH 1 CAR GARAGES: 66 SPACES (INCLUDES 1 GARAGE SPACE & 1 DRIVEWAY SPACE)
66 DWELLINGS WITH 2 CAR GARAGES: 264 SPACES (INCLUDES 2 GARAGE SPACES & 2 DRIVEWAY SPACES)
ON STREET PARKING: 24 SPACES
TOTAL PARKING PROVIDED: 354 SPACES
BICYCLE PARKING PROVIDED: 20 SPACES (1 PER EVERY 5 UNITS)

ADJACENT PROPERTY OWNERS

PARCEL	DEED	OWNER	ZONING
1	5611565429	681-0136 PAGE REALTY INC	RC
2	5611567463	2821-0032 THOMAS H & VICTORIA H JOHNSON	RC
3	5611661356	- DONALD B & CAROLYN C BRAFFORD	RC
4	5611661009	9072-0127 RESEARCH CITY LLC	RC
5	5611659947	12377-145 CCA RESIDENTIAL #2 LLC	RC
6	5611559964	8169-0218 WILLIAM A & JACQUELINE ZEARLEY	RC
7	5611559856	12165-126 HOME SFR BORROWER LLC	RC
8	5611559841	5445-0152 ADRIANA KIPP	RC
9	5611559723	14309-073 RAY TEMBO & ALDREA SPEIGHT	RC
10	5611559967	13761-228 YAMAGA CO LTD	RC
11	5611559536	13638-137 LINDA KISER	RC
12	5611558591	1166-0280 PATRICK ROSS & ERIC YOWHIL YFNAR	RC
13	5611558484	2612-0060 ALAN M FEENEY	RC
14	5611558396	2972-0323 EDMOND & CYNTHIA DUBE	RC
15	5611559253	14009-172 CAROLYN T & JIMMY R SHAMPSON	RC
16	5611557071	13294-339 GREGORIO SOTO HERNANDEZ	RC
17	5611468269	14547-203 WATERS EDGE OWNER LLC	RC
18	5611563241	11295-033 WAFRICO HOLDINGS LLC & PHILIP S CONRAD	RM-2

NOTE: PROPERTY INFORMATION BASED ON CABARRUS COUNTY GIS



POTENTIAL AMENITIES



PICKLEBALL COURT



DOG PARK



INTERNAL WALKING PATH



NATURAL WALKING PATH



CLUBHOUSE



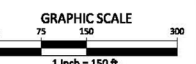
POOL AMENITY



POTENTIAL TRASH CANS



POTENTIAL PARK BENCHES



McAdams
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
AUSTIN HUGHES
RIVER ROCK CAPITAL PARTNERS
517 ALCOVE ROAD, SUITE 302
MOORESVILLE, NORTH CAROLINA 28117

**DAVIDSON HIGHWAY
SINGLE-FAMILY ATTACHED
RANCH HOMES
REZONING PLAN
2821 DAVIDSON HWY
CONCORD, NORTH CAROLINA, 28027**

REVISIONS

NO.	DATE	PER CITY COMMENTS
1	07.08.2021	PER CITY COMMENTS
2	10.13.2021	PER CITY COMMENTS
3	11.15.2021	PER CITY COMMENTS

PLAN INFORMATION

PROJECT NO. 2021210332
FILENAME 2021210332-RZ1
CHECKED BY EM
DRAWN BY JDS
SCALE 1"=150'
DATE 06.08.2021
SHEET

**OPEN SPACE
EXHIBIT
RZ.03**

Residential: Multi-Family

Climbing Rose Courtyards (CN-PSA-2023-00025)

109 Cabarrus Ave. E.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	3	No	No	No	No	No	No

Allocation Request

Total	2023
720	720

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	1	1	0	1	0	5

Brief Summary

The applicant is proposing a mixed-use development located on parcels 5620-99-7086 and 5620-99-6195. These parcels equal 0.5 ac and are currently zoned Center City (CC). The proposal has 10,848 sf of mixed-use commercial building that includes 3 retail/business spaces. They are also proposing 5 three bedroom apartments. This falls inside the Center City Plan.



CN-PSA-2023-00025

Climbing Rose Courtyards Apartments






Type: Residential

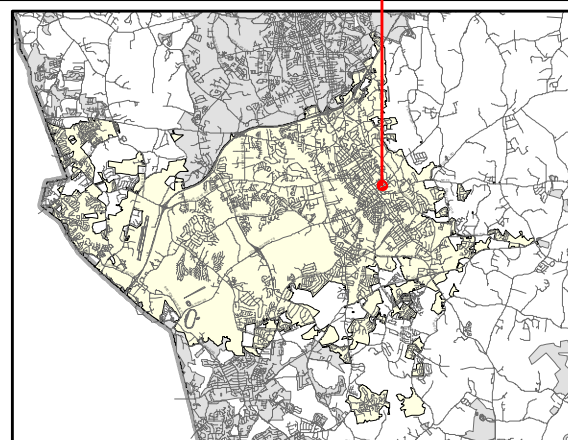
Multifamily

3 multifamily apartments

Allocation Request: 720

Project Score: 5

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Climbing Rose Courtyards				
	2.)	Description of project location:	109 Cabarrus Ave E				
			<small>(Example: Site located on (Road name) SR #####, approx ##### linear feet (North, South, West or East) of the intersection of Road name (SR #####) and Road Name (SR #####)</small>				
	3.)	Cabarrus County Parcel Identification Number:	56209970860000 & 56209961950000	3a.)	Parcel Acreage:	.5	
	4.)	Site Zoning and use:	CC	5.)	Area Commercial or Industrial Building	(sq. ft.) 10,848	
	6a.)	Description of Facility to be served.	Mixed-use Residential/Commercial/Office	6b.) Number of Lots	2	6c.) Number of Units	8
	7d.)	Additional description information:					

B. Applicant Information	Koto Properties LLC	<small>(Title)</small>	65 Corban Ave SE STE 12
	<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>
	Koto Properties LLC		Concord, NC 28025
	<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>
	770-855-9649		
	<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>
	John Eckstein <small>(Name)</small>	jeckste@gmail.com <small>(Email)</small>	
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>	

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available	Virginia Moore	<small>(Typed name of North Carolina Professional Engineer)</small>	Carlos J Moore Architect, P.A.	
			<small>(Company Name)</small>	
		<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>
	704-788-8333		Concord, NC 28025	
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>	
	<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		vmoore@cmoorearch.com	<small>(Engineer's Email Address)</small>

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input checked="" type="checkbox"/>	Retail (Stores, shopping centers)
<input checked="" type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input checked="" type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

80.8%	% Domestic
19.2%	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 1,484.8 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.


[Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.]

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Retail/Business Stores	100 gal/ day/1000 sf	3	GPD 284.8
3 Bedroom Apartments	240 gal/ day	5	GPD 1200
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1484.8

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, John Eckstein, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.


Signature:

1/23/2023
Date:

Climbing Rose
Concord



City of Concord
City Council
Concord, NC 28025

Reference: Climbing Rose Courtyards Mixed-use Development

Dear City Council Members,

Koto Properties LLC and Carlos J Moore Architect, P.A. are pleased to present the Preliminary Wastewater Flow application (PWWF) for the mixed-use development located at 109 Cabarrus Ave E, North Carolina 28025. Please see the attached site plan and renderings included in this application.

The Climbing Rose Courtyards Mixed-use Development is a 10,848 sq. ft. mixed-use commercial building located on parcels 56209970860000 & 56209961950000. The site is .5 acres and is currently zoned CC. The first floor of the building facing Cabarrus Ave will feature a commercial office and retail space and the second floor will consist of an apartment. The buildings in between Cabarrus Ave and Brumley Ave will feature two-story apartments with attached courtyards. The first floor of the building facing Brumley Ave will feature commercial office and retail space and the second floor will consist of an apartment. Please see **Table 1.a** for calculations of anticipated wastewater flows.

Table 1.a

Description	Quantity	Flow	Total (GPD)
Retail/Business Stores	3	100 GPD/1000 sf	284.8
3 Bedroom Apartments	5	240 GPD	1,200
		Total	1,484.8

This development will bring much-needed commercial space to the downtown area of Concord, North Carolina, and affordable housing with expected rental rates averaging \$1,900/month. The desirable location of this building will provide residents with short, walking access to the Harold B. McEachern Greenway Trailhead located near the building on McCachern Blvd SE and the JW (Mickey) McGee Park located on Corban Ave SE. The commercial units will provide the growing downtown residential population and surrounding neighborhoods with walking access to the future businesses.

Climbing Rose
Concord



Conceptual Rendering

Included below is a conceptual rendering for the planned general aesthetics of the buildings.



Climbing Rose
Concord



Included below is the general aesthetics of the private courtyards that are attached to each apartment.



Climbing Rose
Concord

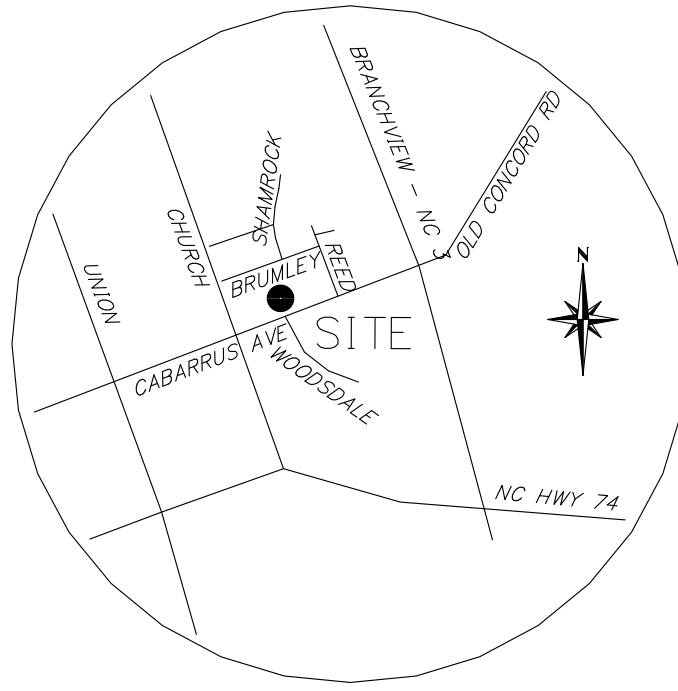


Thank you for your consideration of our Preliminary Wastewater Flow application. We look forward to continuing to work with the City of Concord to provide a great contribution to the Concord downtown area.

Sincerely,

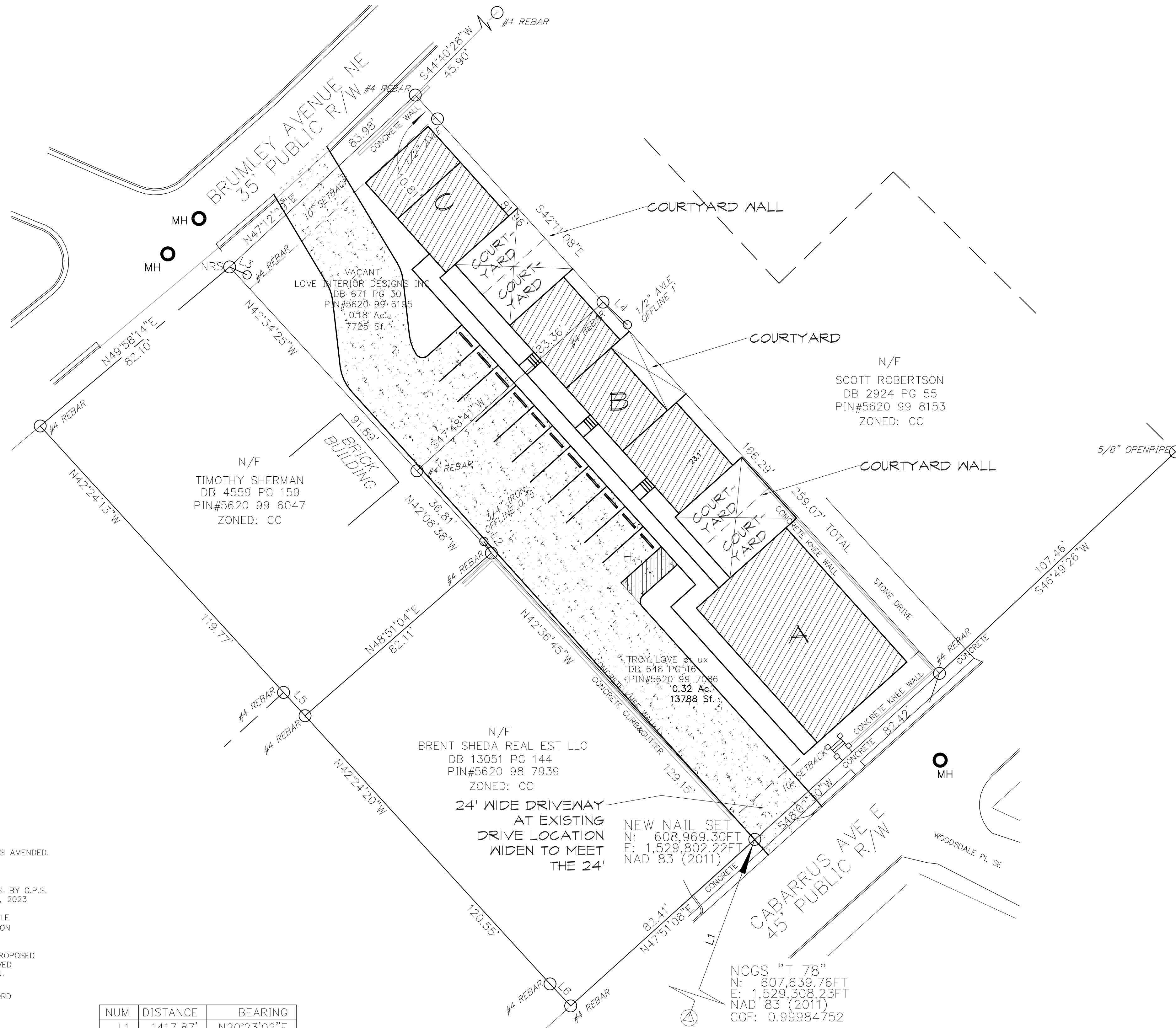
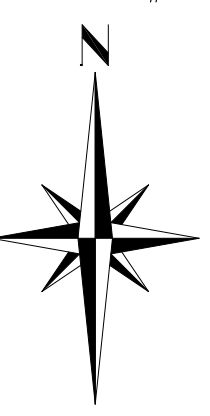
A handwritten signature in black ink, appearing to read 'John Eckstein', with a large, stylized initial 'J'.

John Eckstein
Manager
Koto Properties LLC
jeckste@gmail.com



VICINITY MAP: NTS

N.C. GRID NORTH
GPS OBSERVED
SEE NOTE #3



SITE DATA

PIN 5620-99-7086 - .32 AC
PIN 5620-99-6195 - .18 AC

ZONED CC
FRONT SETBACK - 10'-0"
75' MAX HEIGHT

USE - MIXED USE

IMPERVIOUS SURFACE EXISTING: 9,356.11 SF

IMPERVIOUS SURFACE BEING REMOVED: 9,356.11
IMPERVIOUS SURFACE BEING ADDED:
BUILDING A FOOTPRINT = 2,400 SF
BUILDING B FOOTPRINT = 1,904 SF
BUILDING C FOOTPRINT = 1,120 SF
DRIVES AND WALKS = 8,596.5 SF
TOTAL IMPERVIOUS SURFACE = 14,020.5 SF

NET PROPOSED IMPERVIOUS SURFACE= 4,664.4

ALL BUILDINGS ARE 2 STORY
BUILDING A TOTAL SF = 4,800 SF
BUILDING B TOTAL SF = 3,808 SF
BUILDING C TOTAL SF = 2,240 SF

N/F
SCOTT ROBERTSON
DB 2924 PG 55
PIN#5620 99 8153
ZONED: CC

N/F
TIMOTHY SHERMAN
DB 4559 PG 159
PIN#5620 99 6047
ZONED: CC

N/F
BRENT SHEDA REAL EST LLC
DB 13051 PG 144
PIN#5620 98 7939
ZONED: CC

NEW NAIL SET
N: 608,969.30FT
E: 1,529,802.22FT
NAD '83 (2011)

NCGS "T 78"
N: 607,639.76FT
E: 1,529,308.23FT
NAD '83 (2011)
CGF: 0.99984752

SITE CONCEPT PLAN
SCALE 1"=20'-0"

LEGEND

- NRS NEW REBAR SET
- EIP EXISTING IRON PIN
- CP COMPUTED POINT
- SN SET MAG NAIL
- R/W RIGHT-OF-WAY
- ESMT EX EASEMENT (AS LABELED)
- HP EXISTING HANDICAP PARKING
- SP EXISTING SIGN
- L1 EXISTING LIGHT POLE
- UP EXISTING UTILITY POLE
- BP EXISTING BACK FLOW PREVENT
- FH EXISTING FIRE HYDRANT
- WV EXISTING WATER VALVE
- WM EXISTING WATER METER
- GV EXISTING GAS VALVE
- GM EXISTING GAS METER
- SMH EXISTING SEWER MANHOLE
- STMH EXISTING STORM MANHOLE
- CB EXISTING CATCH BASIN
- FX EXISTING FENCE
- CG EXISTING CURB AND GUTTER
- OPH EXISTING OVERHEAD POWER LINE

GENERAL SURVEY NOTES:

- THIS PLAT IS NOT FOR RECORDATION PER NCGS 47-30 AS AMENDED.
- ALL CORNERS MONUMENTED AS SHOWN.
- NC GRID ORIENTATION ESTABLISHED BY THE NCGS C.O.R.S. BY G.P.S. OBSERVATION USING SP, EPOCH 80 GNSS SYSTEM, JAN. 2, 2023
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- AT THE TIME OF THIS SURVEY THERE WERE NO KNOWN PROPOSED CHANGES IN THE STREET RIGHT OF WAY LINES OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION.
- BOUNDARY PREDICATED BY MONUMENTS FOUND AND RECORD INFORMATION AS SHOWN.
- AREAS DETERMINED BY THE COGO CALCULATION METHOD.
- THIS PROPERTY HAS DIRECT UNOBSTRUCTED ACCESS TO BRUMLEY AVE, NE, AND CABARRUS AVE E.

NUM	DISTANCE	BEARING
L1	1417.87'	N20°23'02"E
L2	4.59'	S32°38'37"E
L3	6.37'	N65°32'49"W
L4	10.90'	N46°37'13"W
L5	10.54'	N42°39'01"W
L6	10.03'	N43°12'05"W

THIS IS TO CERTIFY THAT SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION. F.I.R.MAP: 370156200K / EFFECTIVE DATED: NOVEMBER 16, 2018.

NOTICE:
ALL FEDERAL, STATE, LOCAL, CODES, ORDINANCES AND REGULATIONS SHALL BE CONSIDERED AS PART OF PLANS AND SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED HERE. VARIANCES OCCUR.
THESE DRAWINGS ARE DIAGNOSTIC, NOT INDICATING ALL CONDITIONS AND DETAILS, AND ARE INTENDED TO BE USED BY EXPERIENCED MECHANICS. EACH DRAWING IS SOLELY INDICATIVE TO THE OTHERS. ALL CONDITIONS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTORS PRIOR TO INSTALLATION. WORK PERFORMED NOT IN COMPLIANCE WITH THE INTENT OF THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE PERSONS PERFORMING THE WORK. LIMIT OF LIABILITY IS THE AMOUNT OF FEE CHARGED.
THIS DRAWING IS THE INFORMATION DESIGNER'S PROPERTY. IT IS TO BE USED ONLY FOR THE PROJECT AND NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF CARLOS MOORE ARCHITECT PA.
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PRELIMINARY NO. 1
CONSTRUCTION
CONCEPT DESIGN

EST. 1987
ARCHITECT PA
222 CHURCH ST. N. CONCORD, NC 28025
T-704-788-8388 F-704-782-0487
WWW.CMORARCH.COM

PROJECT TITLE: MIXED USE DEVELOPMENT
CLIMBING ROSE COURTYARDS
109 CABARRUS AVE E, CONCORD, NC
SHEET TITLE: SITE CONCEPT PLAN

BOUNDARY SURVEY OF
109 CABARRUS AVE EAST
DB 648 PG 16 * PIN# 5620 99 7086
OWNED BY: TROY & BARBARA LOVE

TRACT ON BRUMLEY AVE NE
DB 671 PG 30 * PIN# 5620 99 6195
OWNED BY: LOVE INTERIOR DESIGN INC.

SURVEYED FOR: KOTO PROPERTIES, LLC
CONCORD NC

DRAWING SCALE: 1" = 20'

DATE: JANUARY 2023
CITY OF: CONCORD
TOWNSHIP NO: 12
COUNTY: CABARRUS
STATE: NORTH CAROLINA
DRAWN BY: SDG
CMP BY: JTW
REVISION #

HARRISBURG SURVEYING
DEUT. V: 27-17/PROV. V: 22-28
115 Plaza Dr Harrisburg, N.C.
(704)-455-9553 PHONE
http://www.harrisburgsurveying.com

JDB# 230103

TODAY'S DATE: XXXXXXXX	SHEMATIC DESIGN APPR: XXXX
ORIGINAL SEAL DATE: XXXX	
REVISIONS:	
DRAWING NUMBER: XXXXXXXXXX	
DRAWN BY: VLM	
PROJECT MOR: XXX	
CHECKED BY: V. MOORE	
SHEET	
SP = 1	
OF X	TOTAL # OF SHEETS: X

Nonresidential

Home2/Tru Concord (CN-PSA-2022-00162)

5355 Bruton Smith Blvd.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	184 room hotel	No	No	Yes	No	No	No

Allocation Request

Total	2023
4,840	4,840

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The applicant is seeking additional sewer allocation for 184 room hotel. The property is currently zoned General Commercial (C-2) and is adjacent to the Homewood Suites.








CN-PSA-2022-00162
Home2/Tru Concord NC

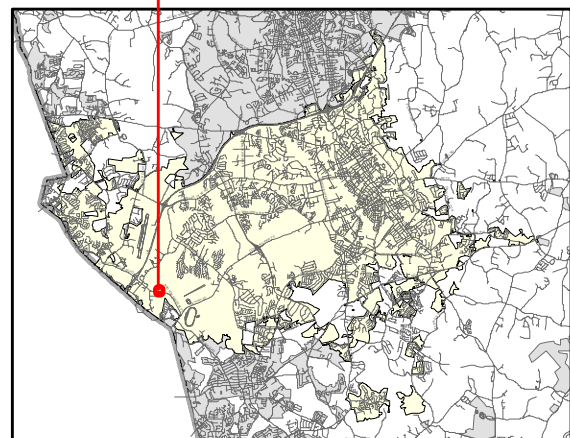
Type: Nonresidential

184 room hotel

Allocation Request: 26,920

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	PRS2022-02776
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Tru Home 2 (Modification)				
	2.)	Description of project location:	Bruton Smith Bv. 500' W fr. JQ Hammons Dr.				
	(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))						
	3.)	Cabarrus County Parcel Identification Number:	45992194430	3a.)	Parcel Acreage:	1.69	
	4.)	Site Zoning and use:	C-2 (vacant)	5.)	Area Commercial or Industrial Building (sq. ft.)	107,424	
	6a.)	Description of Facility to be served:	184 unit hotel	6b.) Number of Lots	1	6c.) Number of Units	184
	7d.)	Additional description information:	Lot B Map Book 56 Page 28				

B. Applicant Information	Ashok Patel	CHA	PO Box 4540
	(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)		(Applicant's Street or Box Number)
	NAMAN SPEEDWAY I LLC		Florence, SC 29502
	(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)		(Applicant's City, State, Zip Code)
	843.669.0755		843.661.0700
	(Applicant's Phone Number)		(Applicant's Facsimile Number)
Charles Hodge (Name)		chhodge@lu (Email)	ashok@namanhotels.com
(Name with Title and Email of contact person, who can answer questions about application)		(Applicant's Email Address)	

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available	Charles Hodge	Lucas-Forman, Inc.
	(Typed name of North Carolina Professional Engineer)	(Company Name)
	25937	PO Box 11385
	(NCPE Registration Number)	(Street or Box Number)
	704.506.0757	Charlotte, NC 28220
	(Phone Number)	(City, State, Zip Code)
Charles Hodge		chhodge@lucas-forman.com
(Name and affiliation of contact person, who can answer questions about application & designs)		(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input checked="" type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input checked="" type="checkbox"/>	Other (specify): <u>Amenity pool</u>		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 4,840 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
Hotel room w/o kitchen	120	gal/ day	96	GPD	11520
	175	gal/ day	88	GPD	15400
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
Previous allocation: 22,080 gal. Requested increase: 4,840 gal			Total	GPD	26920

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Ashok Patel, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Ashok Patel 10/24/22

Signature: _____ Date: _____

**LUCAS-FORMAN, INC.
LAND SURVEYING, PLANNING & ENGINEERING**

MAIL ADDRESS:
P O BOX 11386
CHARLOTTE, NC 28220-1386
PHONE: 704-527-6626

STREET ADDRESS:
4000 STUART ANDREW BLVD.
CHARLOTTE, NC 28217-1535
EMAIL: Postmaster@Lucas-Forman.com

Date: Oct. 30, 2022

Attn.: City Council, City of Concord
35 Cabarrus Ave. W
Concord, NC 28025

Re: Home2/Tru Concord NC
LFI job# 16175
request for increase to Preliminary Wastewater Flow Allocation

To Whom It May Concern:

Naman, Speedway I, LLC wishes to construct a new 5-story 184 room hotel at Convention Center Plaza on property they own and previously improved in 2016 by installing infrastructure to serve future development.

Council chose to grant our prior request and allocated 22,080 gal for this project in September 2022.

The project engineer (me) failed to correctly interpret the rules set forth in 15a NCAC 02T and calculated a proposed sanitary sewer flow allocation total that was insufficient for the proposed development.

This application is to request an increase of 4,840 gallons for a total of 26,920 gallons flow allocation.

More specifically:

The new Home2/Tru hotel will be constructed on Lot B and a portion of Lot C as shown on Map Book 56, Page 28. This parcel has not yet been assigned an address. It will be bordered to the west by the existing Homewood Suites hotel, to the north by an existing unnamed private drive built by Naman, to the south by Bruton Smith Blvd, and to the East by undeveloped land, the residual of Lot C. Access will be from the private drive to the north leading to John Q Hammons Dr. and Scott Padgett Pkwy NW, with no direct access to or from Bruton Smith Bv.

Improvements will include a new five-story structure with 184 hotel rooms (96 standard rooms and 88 rooms with kitchens), pool, 185 parking spaces, and associated appurtenant improvements to serve the structure. Water and Sewer services will connect to existing utility lines in the private road to the north. These lines were installed by Naman in 2016 to serve this development and are part of the City of Concord public water and sewer system.

Sewer service will be a via a gravity sewer lateral line connecting to an existing private sewer manhole on the developed parcel, which then connects to the public sewer system downstream. Water service will consist of a 4" domestic tap with meter and backflow, along with a 6" fire line and FDC.

Naman, Speedway I, LLC requests that Concord City Council approve this Modified Preliminary Wastewater Flow Application for an increase from 22,080 gallons per day (GPD) to a new total of 26,920 gallons water and sewer flow to serve 184 new hotel rooms at the Proposed Home2/Tru Concord, NC as calculated per 15A NCAC 2T .0114

Sincerely,

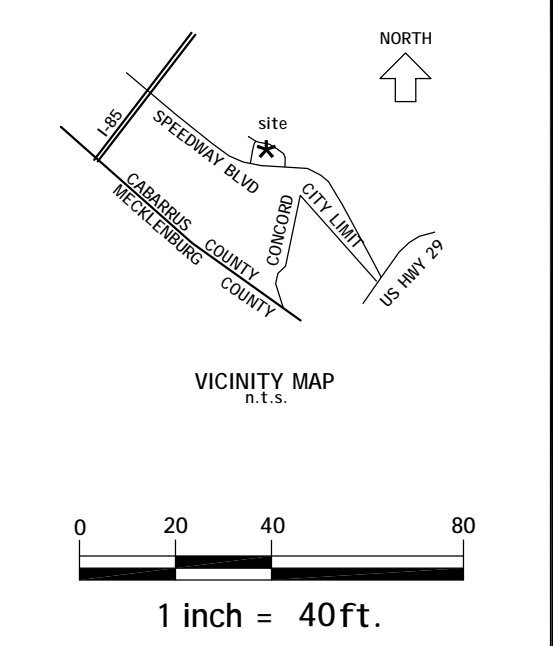


Charles Hodge, PE PLS
Lucas-Forman, Inc.
O: 704-527-6626
M: 704-506-0757
chhodge@lucas-forman.com

NOTES:
 EASEMENTS:
 THE PARTIES WILL EXECUTE A UTILITY AND ACCESS PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY
 FUTURE CONSTRUCTION ON LOTS C MAY NOT EXCEED 80% IMPERVIOUS AREA INCLUDING IMPERVIOUS AREA SHOWN ON THIS PLAN
 FUTURE DEVELOPMENT ON LOT C HAS BEEN ADDRESSED IN THE WATER QUALITY AND STORMWATER PLAN AS FOLLOWS:
 -STORMWATER DETENTION FOR THE ONE YEAR AND TEN YEAR STORM IS PART OF THIS PLAN AND WILL REQUIRE NO FURTHER ATTENUATION FOR DEVELOPMENT ON LOT C. ALL STORM DISCHARGE MUST ENTER THE DETENTION BASIN.
 -WATER QUALITY FOR THE PORTION OF LOT C AFFECTED BY THE ACCESS ROAD IS INCLUDED IN THIS DESIGN. SITE DEVELOPMENT PLAN FOR LOT C WILL REQUIRE ADDITIONAL MEASURES AND A NEW WATER QUALITY MANAGEMENT PLAN.

NOTES:
 TOTAL SITE AREA 5.46 AC
 ZONED: C-2
 SUBJECT TRACT AND ALL ADJACENT PARCELS ZONED C-2
 PIN: 4599219430000 AND 4599312460000
 2 EXISTING PARCELS TO BE DEVELOPED AS SHOWN
 ANTICIPATED DATE OF FINAL PLAT: 2017
 THIS PLAN AND APPROVAL THEREOF DO NOT INCLUDE SITE SIGNAGE
 LAT/LONG:
 N: 35°21'48"
 W: -80°42'04"
 ELEV: 665'± (NAVD '88)
 BUILDING SETBACKS:
 10' MIN, VARIES WITH HEIGHT:
 HOME2 AND TRU HOTELS:
 HEIGHT = 60' (5 STORIES)
 MIN FRONT SETBACK = 10'-(60-48)-22'
 FUTURE DEVELOPMENT: NOT PART OF THIS PLAN

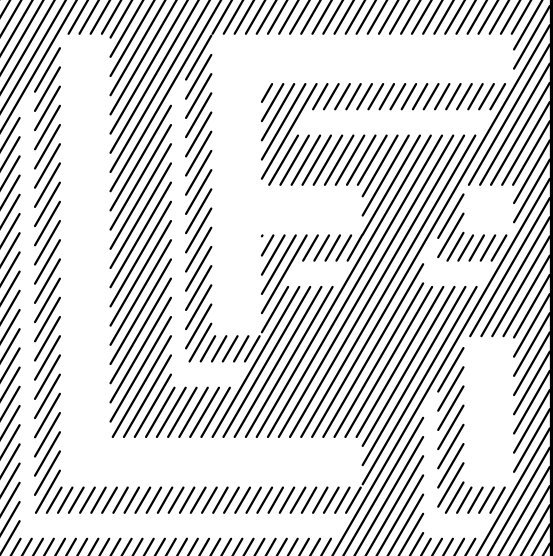
PARKING SUMMARY:
 STANDARD SPACES 9' X 18'
 PARKING LANES ARE 24' MIN WIDTH EXCEPT FIRE LANES ARE 26'
 HOME2 AND TRU PARKING:
 # ROOMS = 184 TOTAL
 MEETING AREA = 0 SF
 RESTAURANT = 0 SF
 TOTAL REQUIRED:
 1/ROOM = 184 SPACES
 185 SPACES PROVIDED, INCLUDING
 7 ACCESSIBLE SPACES



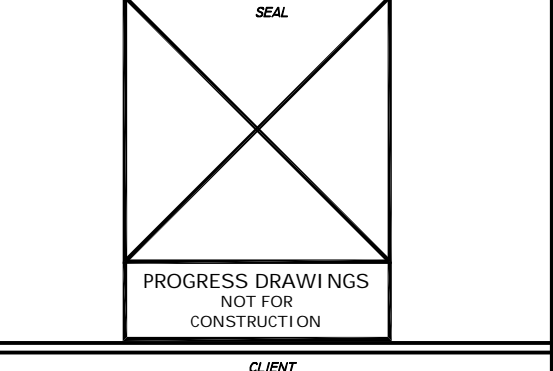
DRAWING ISSUE & REVISION STATUS		
ISSUE DATE	BY	DESCRIPTION

CERTIFICATE OF PLAN APPROVAL
 BY AUTHORITY OF THE CITY OF CONCORD
 DEVELOPMENT REGULATIONS, THIS SITE PLAN IS
 HEREBY APPROVED.

DATE _____ DEVELOPMENT SERVICES DIRECTOR _____



Lucas-Forman
 Incorporated
 Land Surveying
 Planning & Engineering
 NC License C-1215
 4000 STUART ANDREW BOULEVARD
 CHARLOTTE, NORTH CAROLINA 28217
 P.O. Box 11386 28220-1386
 (704) 527-6626 Fax 527-9640
 EMAIL: POSTMASTER@LUCAS-FORMAN.COM



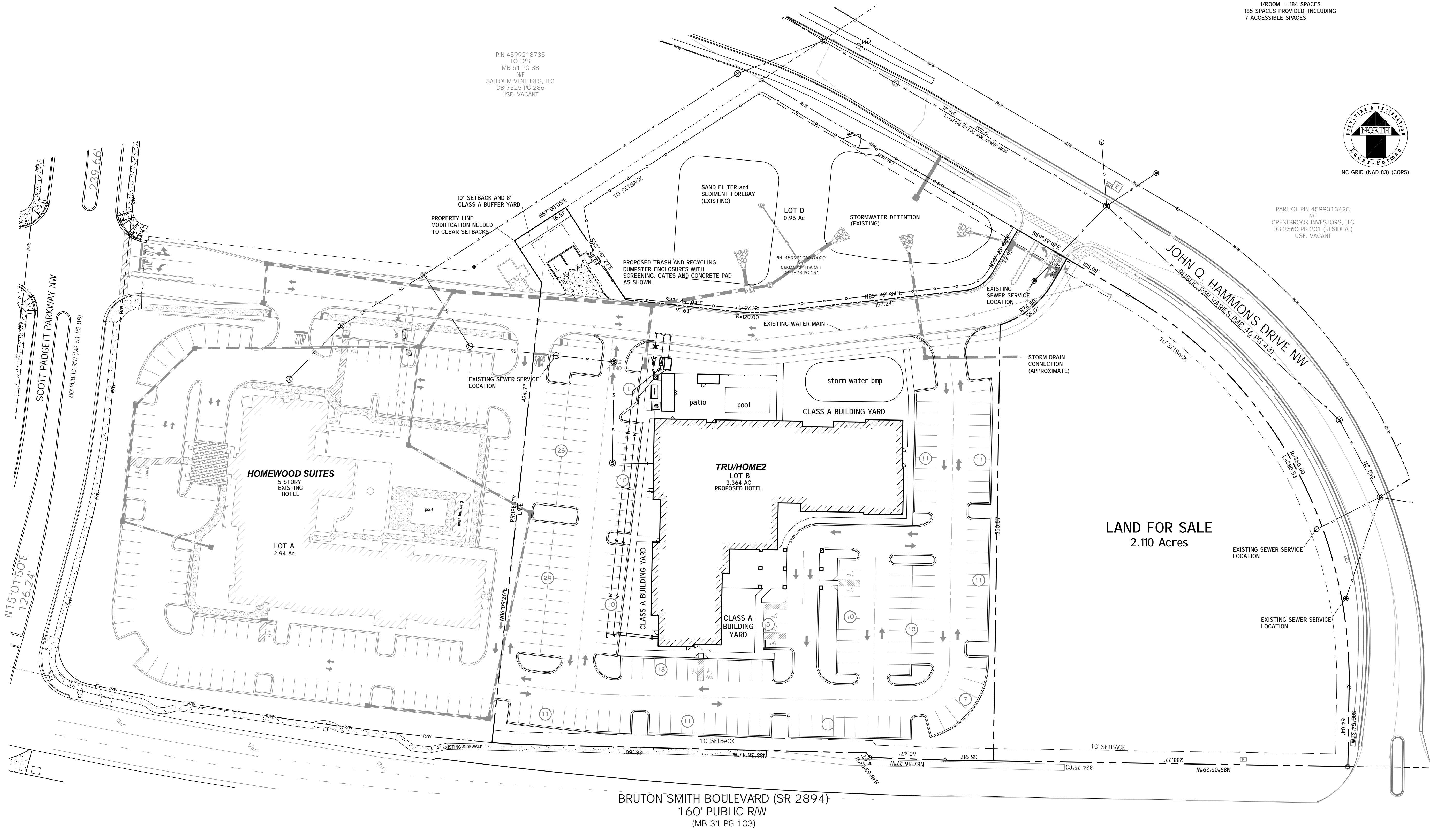
Naman Hotels
 P.O. Box 4540
 Florence, SC 29502
 (843) 669-0855

PROJECT NAME
 TRU/HOME

SHEET NAME
 PROPOSED
 SITE PLAN

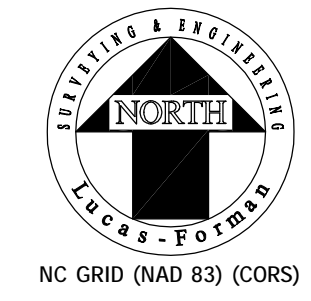
SKETCH PLAN "J"

DRAWN BY	DWG FILE NAME	DATE
CHH	16175-SKETCH3.dwg	01.17.2022
SURVEYED BY	DESIGNED BY	SHEET NUMBER
JTE	CHH	SP-1
JOB NUMBER	FILE NUMBER	
16175	CAB	



PIN 4599218735
 LOT 2B
 MB 51 PG 88
 NF
 SALLIUM VENTURES, LLC
 DB 7525 PG 286
 USE: VACANT

PART OF PIN 4599313428
 NF
 CRESTBROOK INVESTORS, LLC
 DB 2560 PG 201 (RESIDUAL)
 USE: VACANT





1 3D PERSPECTIVE
A-3D1



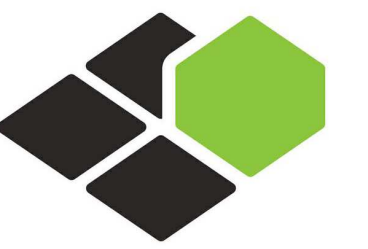
2 3D PERSPECTIVE
A-3D1



3 3D PERSPECTIVE
A-3D1



4 3D PERSPECTIVE
A-3D1



BASE4

BASE4
2901 CLINT MOORE ROAD, #114
BOCA RATON, FLORIDA 33496
888.901.8008 www.base-4.com

RICARDO J. MUNIZ-GUILLET, AIA
2030 HABERSHAM TRCE,
CUMMING, GA 30041

Seal:



DATE: 2022.06.17

Owner:



NAMAN SPEEDWAY I, LLC
ASHOK PATEL
ashok@namanhotels.com



PROJECT ADDRESS
BRUTON SMITH BLVD
CONCORD, NORTH CAROLINA
ZIP CODE: 28027

PROTOTYPE VERSION
Blended dual brand 2.0 (Tru 2.2, Home2 2.3)

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A0	2022.06.17	ISSUED FOR PERMIT

CURRENT ISSUE

ISSUED FOR PERMIT

CURRENT ISSUE DATE
2022.06.17

DRAWN BY
ST/RJ/MUK/FA

CHECKED BY
LA/RB

PROJECT NO.
B4-252-2201

SHEET NAME

3D PERSPECTIVES

DRAWINGS NO.

A-3D1

Nonresidential

3055 Dale Earnhardt Blvd. (CN-PSA-2022-00119)

3055 Dale Earnhardt Blvd.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
6/16/2022	Yes	7,000 sq. ft. restaurant (27 additional Seats)	No	No	No	Yes	No	No

Allocation Request

Total	2023
1,080	1,080

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The applicant is seeking to add 27 additional seats to the proposed restaurant located at 3055 Dale Earnhardt Blvd. This parcel is currently zoned General Commercial (C-2).



CN-PSA-2022-00163







3055 Dale Earnhardt Blvd

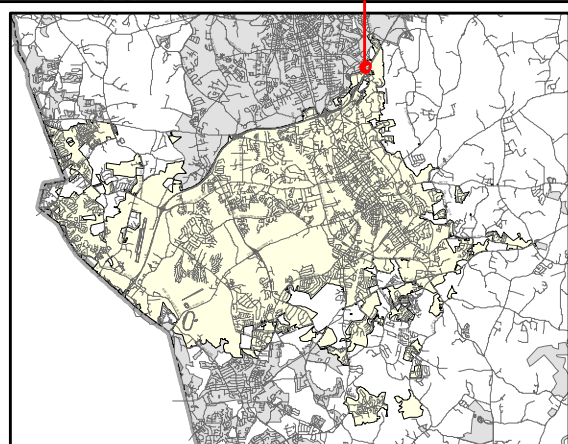
Type: Nonresidential

Additional 27 seats in restaurant

Allocation Request: 1,080

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County
-  Other Municipalities





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	3055 Dale Earnhardt Blvd				
	2.)	Description of project location:	Site located at the Lowe's Development on Dale Earnhardt Blvd, approximately 250 linear feet NW of the intersection of Dale Earnhardt & Knowles St <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)</small>				
	3.)	Cabarrus County Parcel Identification Number:	56227838390000	3a.)	Parcel Acreage:	1.76 acres	
	4.)	Site Zoning and use:	C-2 Commercial	5.)	Area Commercial or Industrial Building	(sq. ft.) approx. 6,100	
	6a.)	Description of Facility to be served:	Restaurant	6b.) Number of Lots	1	6c.) Number of Units	1
	7d.)	Additional description information:	Additional flow allocation for 27 added seats				
	B. Applicant Information	Celanese Road Properties		5605 Carnegie Blvd, Suite 110			
<small>(Title)</small>		<small>(Applicant's Street or Box Number)</small>					
<small>(Name of legal owner, board, council, and/or authorized official with title, as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		Charlotte, NC 28209					
Pavilion Development Company		<small>(Applicant's City, State, Zip Code)</small>					
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings as applicable.)</small>		704-552-1159					
704-944-5983		<small>(Applicant's Phone Number)</small>					
<small>(Applicant's Phone Number)</small>		jag@pavedevco.com					
Jim Gamble		<small>(Name)</small>		<small>(Email)</small>			
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		jag@pavedevco.com					
<small>(Applicant's Email Address)</small>							
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.							
C. Design Engineer Information if available	Christopher Isaacs		The Isaacs Group, P.C.				
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>				
	18947		8720 Red Oak Blvd, Suite 420				
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>				
	704-887-6586		Charlotte, NC 28217				
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>				
Alex Quesenberry		aquesenberry@isaacsgrp.com					
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>					

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input checked="" type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 1,080 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

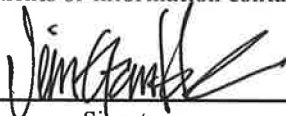
(Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

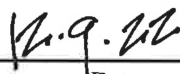
Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Restaurant, Full Service	40 gal/ scat	27	GPD 1,080
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Jim Gamble, SVP, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.


Signature:


Date:

THE ISAACS GROUP
CIVIL ENGINEERING DESIGN & LAND SURVEYING
8720 RED OAK BOULEVARD, STE. 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

December 15, 2022

Re: 3055 Dale Earnhardt Blvd
Sewer Allocation Request

Included with this transmittal is a wastewater flow application for additional sewer allocation for a proposed development at 3055 Dale Earnhardt Blvd, Concord, NC.

Previous sewer allocation was requested and approved in September 2022 (PSA-2022-00119) for 9,080 GPD, equivalent to 227 restaurant seats.

Since this allocation approval, the proposed design of the subject parcel has been revised to include an additional 27 restaurant seats. This allocation request is for flow acceptance of an additional 1,080 GPD for the additional 27 seats.

Please let me know if you have any questions or require any additional information at this time.

Thank you,

Alex Quesenberry

Alex Quesenberry, P.E.
The Isaacs Group, P.C.
704-527-3440 ext. 121

Poplar Mills (Park Place) (CN-PSA-2022-00132)

1200 Cox Mill Rd.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
7/2/2020	Yes	18,925 sf of restaurant, retail, daycare, pool/clubhouse	No	No	Yes	No	Yes	No

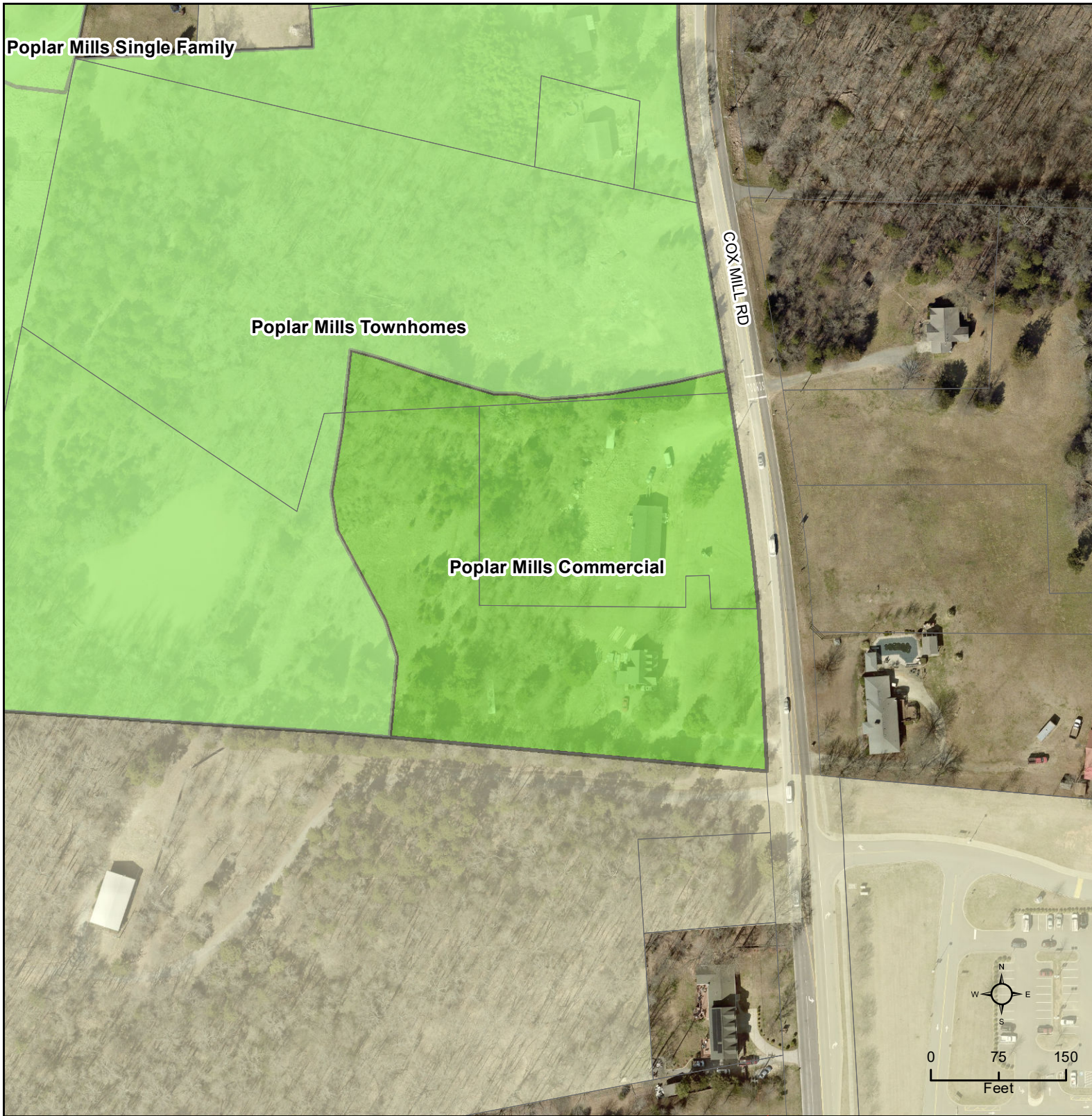
Allocation Request

Total	2023
18,425	18,425

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	1	0	0	1

Brief Summary

The applicant is seeking sewer allocation for 18,925 square feet of commercial space including restaurant, retail, and daycare. This is part of a mixed-use development that includes 141 single family attached residential units at 1200 Cox Mill Rd. NW and 24 units of single family detached. This site was heard and approved for rezoning on June 15, 2021. The total square footage permissible by zoning is less than what is being requested in the non-residential sewer application. This site is adjacent to the Ramseur Park.



CN-PSA-2022-00164

Poplar Mills Commercial






Type: Nonresidential

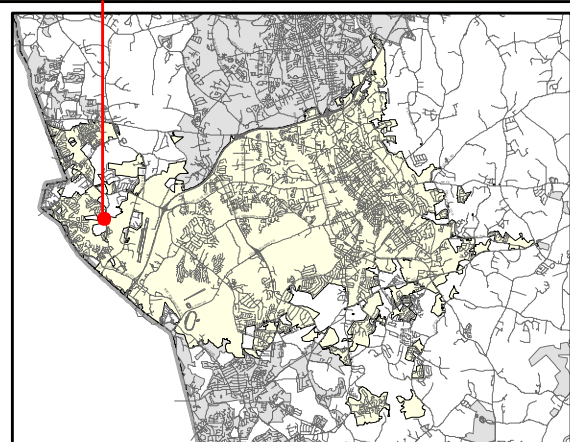
SF Attached

18,925 sf - restaurant, retail, daycare, clubhouse

Allocation Request: 18,425

Project Score: 1

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Poplar Mills			
	2.)	Description of project location:	LOCATED ON COX MILL RD (SR-1448), APPROX 3500 LF SOUTH OF THE INTERSECTION OF POPLAR TENT RD (SR-1394) AND COX MILL RD (SR-1448) <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>			
	3.)	Cabarrus County Parcel Identification Number:	468033-8708	3a.)	Parcel Acreage:	28.03
	4.)	Site Zoning and use:	PUD	5.)	Area Commercial or Industrial Building	(sq. ft.) 32,000
	6a.)	Description of Facility to be served:	SINGLE FAMILY/TOWNHOMES/COMMERCIAL	6b.) Number of Lots	56	6c.) Number of Units 165
	7d.)	Additional description information:	ALSO INCLUDES PARCELS: 468034-8230, 468043-1923, 468044-0386, 468044-0585, 468034-8660, 468034-3187, 468034-1315			
	B. Applicant Information	HARI VUPPALA		407 SUTRO FOREST DR. NW		
<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>				
AVA GLOBAL, LLC		CONCORD, NC, 28027				
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>				
704-488-3290		N/A				
<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>				
HARI VUPPALA (Name)		AVAGLOBALLC@GMAIL.COM (Email)	AVAGLOBALLC@GMAIL.COM			
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>				
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	HY NGUYEN		DPR DESIGN			
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>			
	NC PE 030523		919 BERRYHILL RD. SUITE 101			
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>			
	704-332-1204		CHARLOTTE, NC 28208			
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>			
BEN LAWRENCE		HNGUYEN@DPR.DESIGN				
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>				

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input checked="" type="checkbox"/>	Residential Subdivision	<input checked="" type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input checked="" type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input checked="" type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

70	% Domestic
30	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 60,445 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114
 a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
 b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.
{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
SINGLE FAMILY DETACHED	320	gal/ UNIT/DAY	24	GPD	7,680
TOWNHOMES	240	gal/ UNIT/DAY	141	GPD	33,840
RESTAURANT	40	gal/ DAY/SEAT	220	GPD	8,800
RETAIL	100	gal/ DAY/1000 SF	11250	GPD	1,125
DAYCARE	25	gal/ DAY/CHILD+STAFF	340	GPD	8,500
POOL/CLUBHOUSE	10	gal/ PERSON	50	GPD	500
			Total	GPD	60,445

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, Hari Vuppala, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Hari Vuppala

Digitally signed by Hari Vuppala
 Date: 2022.12.22 11:25:01 -05'00'

12-22-2022

Signature:

Date:

Poplar Mills Narrative

Due January 23, 2023, for consideration March 2023

Site Development Data:

--Acreage: ± 28.03 acres

--Tax Parcel #: 4680-34-1315, 4680-34-3187, 4680-34-8660, 4680-44-0585, 4680-44-0386, 4680-33-8708, 4680-43-1923, and 4680-34-8230

--Existing Zoning: LDR

--Proposed Zoning: PUD

--Existing Uses: Residential/Vacant

--Proposed Uses: 24 single-family detached dwelling units and 141 single family attached units. 2 commercial use buildings.

General:

Poplar Mills is a mixed-use development located on Cox Mill Road in Concord, NC approximately 3500' south of the intersection of Cox Mill Rd and Poplar Tent Rd. It will consist of 24 detached single-family units, 141 attached townhome units and 2 commercial buildings totaling 32,000 sf. Building 1 has been proposed for restaurant and retail use. Building 2 has been proposed for daycare use. Community amenities will include bench seating, walking trails, play areas as well as a community pond.

Project Description:

The site development plan concept will create a mixed use, pedestrian friendly community with a sustainable mix of residential and commercial land uses and intensities containing neighborhood services surrounded by sustainable neighborhood housing with diverse housing types, natural resources, open space areas, and connectivity to the planned community park as well as elementary and high school facilities in walking distance.

This planned development is consistent with the City's 2030 Land Use Plan in accordance with maintaining a sustainable balance of residential and commercial land uses, ensuring compatibility between neighboring land uses, protecting natural resources, retaining open space, connecting mixed uses by way of an integrated network of streets, bike paths and pedestrian access, among other plan goals.

In the event this development receives preliminary sewer capacity allocation for one or more uses, but not all proposed uses, the project will proceed with the approved use(s) and the developer will reapply until all proposed uses have been approved.

Consistent with Purposes of Planned Unit Development:

The proposed planned development will provide for the orderly development of land with a mix of land uses and PUD zoning district to permit flexibility in certain site design features and processing of this quality mixed-use development in exchange for enhanced design elements such as enhanced open space areas and multi-modal connectivity within the community. The proposed planned development promotes the most appropriate use of parcels on the Site, facilitates interconnected streets, substantial open spaces, unified signage/wayfinding, sidewalks, and bike paths with connectivity to the planned community park and nearby schools. The plan preserves/enhances open space and natural features that also offer recreational opportunities to residents. The proposed plan also supports neighborhood services uses for the broader community within walking or biking distances reducing vehicle trips to other commercial nodes.

Design Intent Statement:

Poplar Mills is a proposed walkable residential community where the residents of the community will have convenient and easy access to a series of passive and active open spaces that are interconnected by a network of streets, sidewalks, and trails.

Environmental Features:

The Site will comply with Stormwater and Water Quality requirements as set forth in the Ordinance and applicable NCDEQ Design Manual.

The Site is located outside of any FEMA 100-yr floodway and floodplain.

Price Points for Homes:

\$400k+ for Townhomes and \$450K+ for Single Family Detached homes.

Nonresidential

Common Park Circle Dual Brand Hotel (CN-PSA-2022-00137)

7890 Commons Park Circle NW

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	88,039 sf (166 room) hotel	No	No	No	No	Yes	No

Allocation Request

Total	2023
24,375	24,375

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for an 88,039 sf 166 room hotel. This hotel is to be 5 stories with a pool and outdoor patio. This parcel is zoned General Commercial (C-2).



CN-PSA-2023-00001






Common Park Circle Dual Brand Hotel

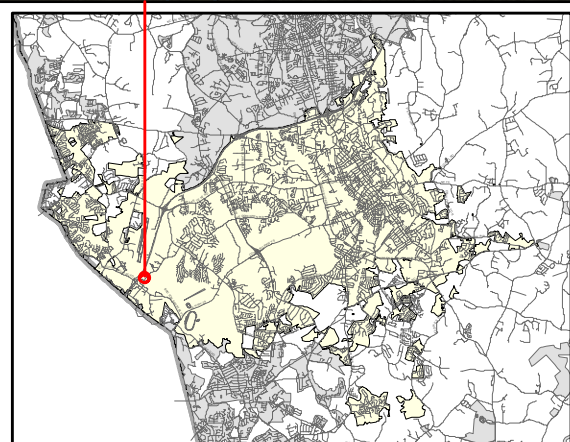
Type: Nonresidential

88,039 sf (166 room) hotel

Allocation Request: 24,375

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Common Park Circle Dual Brand Hotel			
	2.)	Description of project location:	7890 Commons Park Circle NW			
	(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
	3.)	Cabarrus County Parcel Identification Number:	4599-04-6350-0000	3a.)	Parcel Acreage:	2.817
	4.)	Site Zoning and use:	C-2 & Hotel	5.)	Area Commercial or Industrial Building	(sq. ft.) 88,039
	6a.)	Description of Facility to be served:	Hotel	6b.) Number of Lots	1	6c.) Number of Units N/A
	7d.)	Additional description information:	5 story dual brand hotel with 166 rooms			
B. Applicant Information	Samir Patel		Sr. Manager, Development		2706 James ST	
	(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)					
	Concord Lodging LLC		Coralville, IA 52241			
	(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)					
	641-680-1244		310-496-6193			
	(Applicant's Phone Number)					
	SAMIR PATEL (Name)		SAMIR.PATEL@HAWKEYEHOTELS.COM (Email)		SAMIR.PATEL@HAWKEYEHOTELS.COM	
(Name with Title and Email of contact person, who can answer questions about application)						
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Michael Newman		MDV Engineering			
	(Typed name of North Carolina Professional Engineer)					
	28274		215 Johnston ST			
	(NCPE Registration Number)					
	704-400-1044		Rock Hill, SC 29730			
	(Phone Number)					
	Michael Newman		michael@mdveng.com			
(Name and affiliation of contact person, who can answer questions about application & designs)						

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input checked="" type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

_____ Grease Interceptor

4.) Volume of wastewater flow to be allocated for this particular project: 24,375 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114
 a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
 b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.
{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
Hotel	120	gal/ room	85	GPD	10,200
Hotel with in-room cooking facilities	175	gal/ room	81	GPD	14,175
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
			Total	GPD	24,375

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, SAMIR PATEL, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Samir Patel

Signature:

1/9/23

Date:



January 9, 2023

City Council
City of Concord
35 Cabarrus Ave W
Concord, NC 28025

**Reference: Fairfield Inn/Towneplace Suites
7890 Commons Park Circle NW
Concord, NC 28027**

Dear City Council Members:

Concord Lodging, LLC is pleased to present the following request for wastewater capacity needed for the above reference project. This proposed dual brand hotel project is located on Parcel Identification Number 4599-04-6350-0000 and address 7890 Commons Park Circle NW in the City of Concord, Cabarrus County, North Carolina. This is a 2.817 acre parcel, zoned C-2, and is part of the previous Weddington Road Commons project developed in 2009. This proposed commercial hotel use is a by-right development in the C-2 zoning district and is consistent with the surrounding commercial businesses.

This proposed dual brand hotel project consists of a 5-story 166 room structure, pool, outdoor amenities patio, 166 parking spaces, and associated improvements. Access will be from the existing private drive named Commons Park Circle NW with no access to Weddington Road.

Water & Sewer services for this dual brand hotel will connect to existing service stub-outs previously installed in the private drive located on the north side of the site. These existing service stub-outs were installed in 2009 to serve this parcel and are part of the City of Concord public water and sewer system. Additionally, enclosed is a spreadsheet prepared by Concord Lodging, LLC showing the potential positive economic impacts this project will provide to the local community.

Concord Lodging, LLC respectfully requests that the Concord City Council approve this Preliminary Wastewater Flow Application based upon the information provided.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Michael Newman", with a stylized flourish at the end.

Michael Newman, P.E.

TAX BENEFITS FOR THE CITY OF CONCORD AND STATE OF NORTH CAROLINA FROM PROPOSED HOTEL

Real Estate Tax Revenue Annually

FAIRFIELD INN & TOWNEPLACE SUITES
 *Projected First Annual Real Estate Tax \$160,000

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
Total First Annual Real Estate Tax Projections	\$ 19,200	\$ 19,776	\$ 20,369	\$ 20,980	\$ 21,610	\$ 413,976	\$ 515,911
Estimated State Share of Real Estate Tax 12%	\$ 140,800	\$ 164,800	\$ 169,744	\$ 174,836	\$ 180,081	\$ 14,382,751	\$ 15,213,013
Estimated City/County/School District Share of Real Estate Tax 88%							

Sales Tax Revenue Annually

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
Revenue from Sales Tax on Meeting Rooms and other Misc. Items	\$ 8,463	\$ 9,327	\$ 10,173	\$ 10,778	\$ 11,192	\$ 214,406	\$ 264,339
Total Annual Sales Tax (7%)	\$ 8,463	\$ 9,327	\$ 10,173	\$ 10,778	\$ 11,192	\$ 214,406	\$ 264,339

Lodging Tax Revenue Annually

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
State of NC Lodging/Sales Tax	\$ 438,272	\$ 482,994	\$ 526,821	\$ 558,126	\$ 579,592	\$ 9,997,848	\$ 12,583,653
Cabarrus County Lodging/Sales Tax	\$ 362,708	\$ 399,719	\$ 435,990	\$ 461,897	\$ 479,663	\$ 8,274,081	\$ 10,414,057
Total Annual Lodging/Sales Tax	\$ 800,980	\$ 882,712	\$ 962,810	\$ 1,020,023	\$ 1,059,255	\$ 18,271,930	\$ 22,997,710

Total Annual Tax Revenue from All Sources

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
State of North Carolina Revenue	\$ 457,472	\$ 502,770	\$ 547,190	\$ 579,106	\$ 601,202	\$ 10,411,824	\$ 13,099,564
Cabarrus County Revenue	\$ 511,971	\$ 573,846	\$ 615,907	\$ 647,511	\$ 670,936	\$ 22,871,239	\$ 25,891,409
Total Annual Revenue to State/City/County	\$ 969,442.91	\$ 1,076,615.12	\$ 1,163,096.69	\$ 1,226,617.44	\$ 1,272,138.13	\$ 33,283,062.96	\$ 38,990,973.24

Other Positive Impacts To Local/State Economy

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
Total Job Creation Impact/Payroll Budget	\$ 1,569,169	\$ 1,660,684	\$ 1,843,252	\$ 1,901,800	\$ 1,973,681	\$ 37,809,578	\$ 46,758,164

Total Consumer Spending Impact

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
City of Concord	\$ 12,953,850	\$ 13,323,960	\$ 14,064,180	\$ 14,434,290	\$ 14,804,400	\$ 187,090,605	\$ 256,671,285

SUMMARY

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
ANNUAL TAX REVENUE TO CABARRUS CO.	\$ 511,971	\$ 573,846	\$ 615,907	\$ 647,511	\$ 670,936	\$ 22,871,239	\$ 25,891,409
ANNUAL LODGING/SALES TAX REV.	\$ 457,472	\$ 502,770	\$ 547,190	\$ 579,106	\$ 601,202	\$ 10,411,824	\$ 13,099,564
TOTAL SALES TAX REVENUE	\$ 969,443	\$ 1,076,615	\$ 1,163,097	\$ 1,226,617	\$ 1,272,138	\$ 33,283,063	\$ 38,990,973
ANNUAL JOB CREATION IN DOLLARS	\$ 1,569,169	\$ 1,660,684	\$ 1,843,252	\$ 1,901,800	\$ 1,973,681	\$ 32,565,742	\$ 41,514,327
ANNUAL CONSUMER SPENDING	\$ 12,953,850	\$ 13,323,960	\$ 14,064,180	\$ 14,434,290	\$ 14,804,400	\$ 187,090,605	\$ 256,671,285
TOTAL ADDITIONAL LOCAL ECONOMIC IMPACT	\$ 14,523,019	\$ 14,984,644	\$ 15,907,432	\$ 16,336,090	\$ 16,778,081	\$ 219,656,347	\$ 298,185,612
TOTAL ANNUAL TAX REVENUE GENERATION & ECONOMIC IMPACT	\$ 15,492,461	\$ 17,137,875	\$ 18,233,625	\$ 18,789,324	\$ 19,322,358	\$ 286,222,472	\$ 337,176,585
TOTAL TWENTY YEAR REVENUE TO CABARRUS COUNTY	\$ 337,176,585						

SITE ANALYSIS

TAX PARCEL NUMBER (PIN)	4599-04-6350
SITE AREA	(122,721 SF) 2.8173 ACRES
EXISTING ZONING	C-2
PROPOSED HOTEL BUILDING, 5 STORY (NO MEETING OR RESTAURANT SPACE)	±93,340 SF
PROPOSED NUMBER OF ROOMS	168 ROOMS
PARKING REQUIRED @ 1 per ROOM + 1 per 800 SF OF Meeting/Rest. Space	166 SPACES
PARKING PROVIDED (33 COMPACT - 20%)	166 SPACES
PARKING BIKE SPACES REQUIRED @ 1/30 Rooms	6 SPACES
PARKING BIKE SPACES PROVIDED	6 SPACES
MAX. ALLOWED BLDG. HEIGHT *	72' (48+24)
PROPOSED BUILDING HEIGHT	±68.33' (5-story)
EXISTING IMPERVIOUS AREA	8,737 SF (0.201 ACRES)
PROPOSED IMPERVIOUS AREA	82,216 (1.887 ACRES)
TOTAL IMPERVIOUS AREA	90,953 SF (2.088 ACRES) ±74.1%

* PER TABLE 7.7.2-A OF THE CONCORD DEVELOPMENT ORDINANCE THE MAXIMUM HEIGHT MAY BE INCREASED BY ONE (1) FOOT FOR EACH ONE (1) FOOT OF ADDITIONAL BUILDING SETBACK. IN THIS CASE 24' OF ADDITIONAL BUILDING FRONT SETBACK IS PROVIDED; THEREFORE, THE INCREASED MAX. ALLOWED BUILDING HEIGHT 72' (48' + 24'=72').

PAVING LEGEND

	CONCRETE PAVEMENT ITEM 710 6" PORTLAND CEMENT CONCRETE (4500 PSI) PAVEMENT #4 BARS @ 12" O.C. EACH WAY ITEM 520 4" GRADED AGGREGATE BASE
	LIGHT DUTY PAVEMENT ITEM 610 2" TYPE S 9.5A ASPHALTIC CONCRETE SURFACE COURSE ITEM 520 4" GRADED AGGREGATE BASE COURSE (ABC)
	HEAVY DUTY PAVEMENT ITEM 610 1.5" TYPE S 9.5A ASPHALTIC CONCRETE SURFACE COURSE ITEM 610 1.5" TYPE I 19.0B ASPHALTIC CONCRETE ITEM 520 8" GRADED AGGREGATE BASE COURSE (ABC)

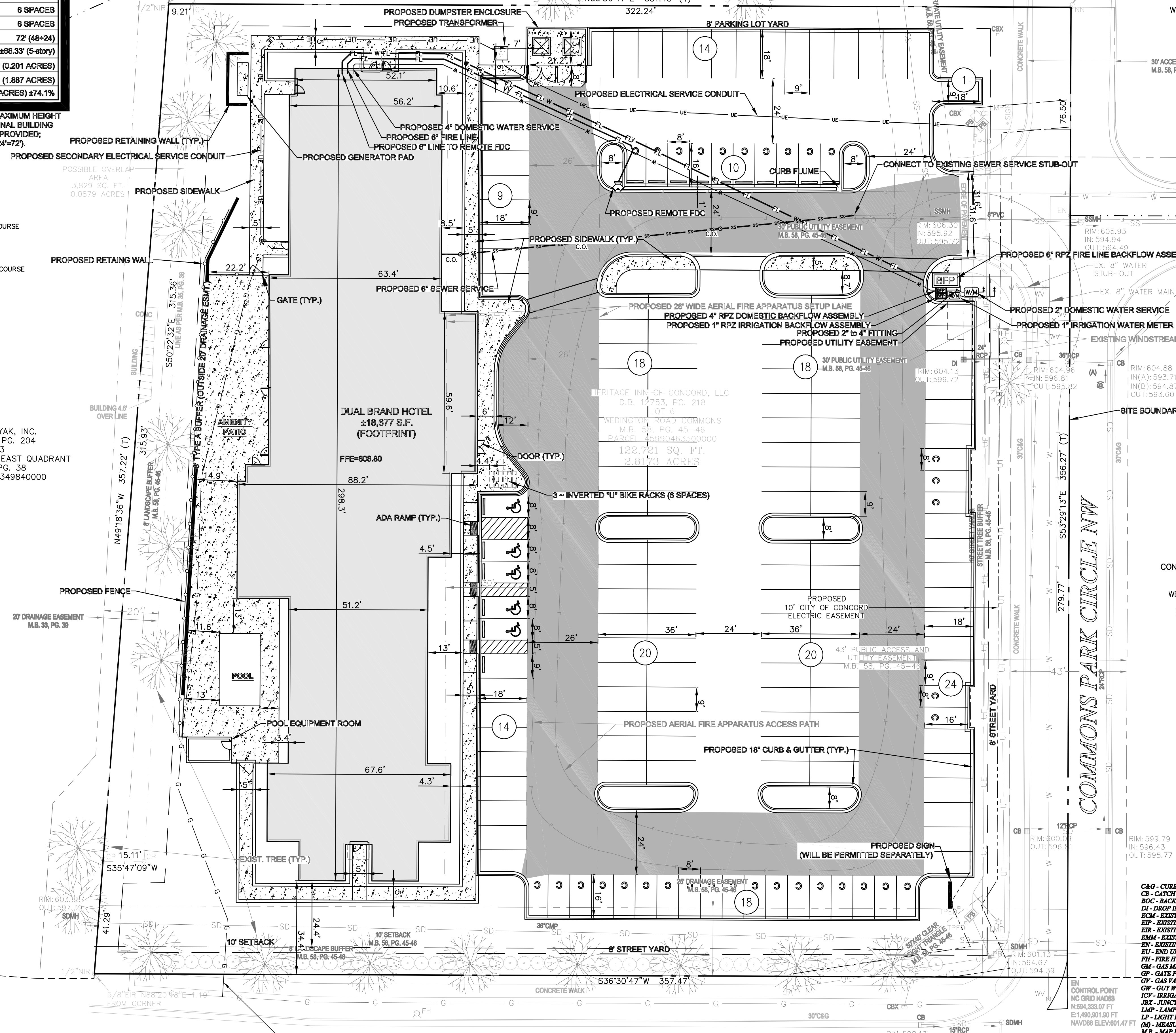
NC GRANDLAND, LLC
D.B. 10542, PG. 239
LOT 5
WEDDINGTON ROAD COMMONS
M.B. 58, PG. 45-46
PARCEL 45990435540000

ITS CONCORD LP
D.B. 11710, PG. 295
LOT 1
WEDDINGTON ROAD COMMONS
M.B. 58, PG. 45-46
PARCEL 45990458820000

RIDDHI VINAYAK, INC.
D.B. 12904, PG. 204
LOT 3
KINGS GRANT NORTHEAST QUADRANT
M.B. 35, PG. 38
PARCEL 45990349840000

HERITAGE INN OF CONCORD, LLC
D.B. 12753, PG. 218
LOT 6
WEDDINGTON ROAD COMMONS
M.B. 58, PG. 45-46
PARCEL 45990435540000
122,721 SQ. FT.
2.8173 ACRES

CONCORD WP COL CONCORD LLC
D.B. 14019, PG. 249
LOT 3
WEDDINGTON ROAD COMMONS
M.B. 58, PG. 45-46
PARCEL 45990495290000

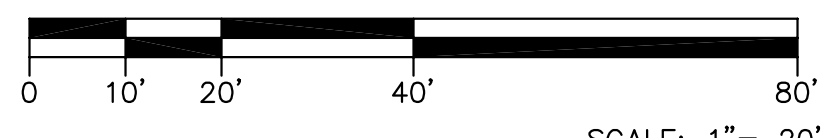


LINE LEGEND:

EASEMENT	---
PROPERTY LINE	---
PROPERTY LINE (NOT SURVEYED)	---
RIGHT-OF-WAY	---
RIGHT-OF-WAY (NOT SURVEYED)	---
SETBACK	---
CHAIN LINK FENCE	X
FIBER OPTIC LINE	---
GAS LINE	---
POWER LINE	---
POWER LINE (UNDERGROUND)	---
SANITARY SEWER PIPE	---
STORM DRAIN PIPE	---
TELEPHONE LINE (UNDERGROUND)	---
WATER LINE	---

LEGEND:

C&G - CURB & GUTTER	CB - CATCH BASIN	BOC - BACK OF CURB	DI - DROP INLET	ECM - EXISTING CONCRETE MONUMENT	EIP - EXISTING IRON PIPE	EIR - EXISTING IRON ROD	EMM - EXISTING METAL MONUMENT	EW - EXISTING WALL	EU - END UNKNOWN	FH - FIRE HYDRANT	GM - GAS METER	GP - GATE POST	GV - GAS VALVE	GW - GUY WIRE	ICV - IRRIGATION CONTROL VALVE	JBX - JUNCTION BOX	LMP - LAMP POST	LP - LIGHT POLE	MQ - MEASURED	MB - MAP BOOK	N.G.S. - NATIONAL GEODETIC SURVEY	NIR - NEW IRON ROD	ON - OVERHANG	OHANG - OVERHANG	PCB - POWER BOX	PM - POWER METER	PP - POWER POLE	PG - PAGE	PVC - PLASTIC PIPE	(R) - RECORDED	R/W - RIGHT-OF-WAY	RCIP - REINFORCED CONCRETE PIPE	SDMH - STORM DRAIN MANHOLE	SSMH - SANITARY SEWER MANHOLE	TB - TELEPHONE BOX	TPED - TELEPHONE PEDESTAL	TRK - TERRACOTTA PIPE	WB - WATER BOX	WM - WATER METER	WV - WATER VALVE
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MDV Engineering
P-0883
C/O Ayer Design Group
215 Johnston Street
Rock Hill, SC 29730
Phone: 704-400-1044
Email: rmtchae@mdveng.com

PROJECT
DUAL BRAND HOTEL DEVELOPMENT
7890 COMMONS PARK CIRCLE NW
CONCORD, NC 28027
(CABARRUS COUNTY)

FOR
Hawkeye Hotels
HAWKEYE HOTELS
2706 JAMES ST.
CORALVILLE, IA 52241
PH: 319.752.7400 ext. 1028

PRIMO INVESTMENTS

REVISIONS

DWG. NAME : 2022-101
DRAWN BY : MDN
DATE : 5.31.22
SCALE: 1:20

SITE & UTILITY PLAN
C-100



TOWNEPLACE SUITES
BY MARRIOTT

Fairfield
BY MARRIOTT

Non-Residential

Weddington Road Self Storage (CN-PSA-2023-00002)

8560 Weddington Rd.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	No	105,100sf Self Storage	No	No	No	No	No	No

Allocation Request

Total	2023
787	787

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	1	0	0	0	1

Brief Summary

This proposal is for a 105,100 sq. ft. Self-Storage Facility located at 8560 Weddington Rd. This parcel is zoned General Commercial (C-2). The applicant will need to rezone the parcel to I-1 in order for the use to be allowed. This project is located inside the Weddington Road Corridor Plan.



CN-PSA-2023-00002






Weddington Rd Self Storage

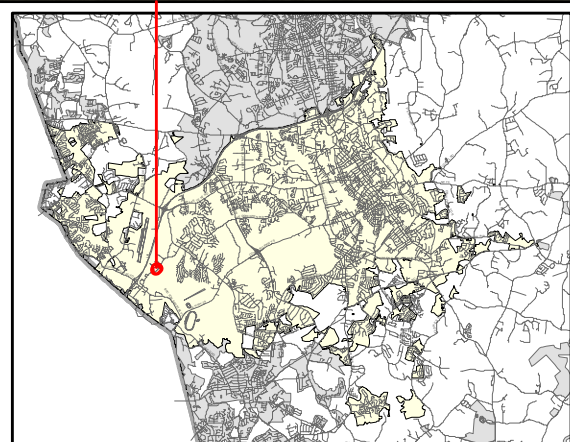
Type: Nonresidential

105,100 sf of self storage

Allocation Request: 787

Project Score: 1

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Weddington Road Self Storage				
	2.)	Description of project location:	Site located on Weddington Road, at the southwest corner of the intersection with Waterlynn Circle NW <small>(Example Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>				
	3.)	Cabarrus County Parcel Identification Number:	45992567510000	3a.)	Parcel Acreage:	2.33	
	4.)	Site Zoning and use:	C-2 (proposed self storage, rezone to I1)	5.)	Area Commercial or Industrial Building (sq. ft.)	105,100	
	6a.)	Description of Facility to be served.	Self Storage	6b.) Number of Lots	1	6c.) Number of Units	787
	7d.)	Additional description information:	Site is proposing 2 self storage buildings. 1 building with traditional self storage units, 1 building with RV/boat storage				
	B. Applicant Information	Mark L. Maynard, Sr. ⁺ Manager <small>(Title)</small>		332 Military Cutoff Road <small>(Applicant's Street or Box Number)</small>			
<small>(Name of legal owner, board, council, and/or authorized official with title, as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant)</small>		Wilmington, NC 28405 <small>(Applicant's City, State, Zip Code)</small>					
Weddington Road Properties, LLC <small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings as applicable)</small>		<small>(Applicant's Facsimile Number)</small>					
910-338-3585 <small>(Applicant's Phone Number)</small>		<small>(Applicant's Email Address)</small>					
Mark Maynard <small>(Name)</small> corporate@tributecompanies.com <small>(Email)</small>		corporate@tributecompanies.com					
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>					
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.							
C. Design Engineer Information if available	Jeff Orsborn		Orsborn Engineering Group				
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>				
	028786		605 Lexington Avenue, Suite 301				
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>				
	704-749-1432		Charlotte, NC 28203				
<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>					
Jason Banks, jbanks@orsborn-eng.com		jorsborn@orsborn-eng.com					
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>					



605 Lexington Avenue, Charlotte, NC 28203

Project Narrative

January 5, 2023

RE: Weddington Road Self Storage Preliminary Wastewater Flow Application
Parcel 45992567510000

This project proposes a multi-story climate controlled self storage facility located on Weddington Road at the south west corner of Waterlynn Circle, NW. Unit sizes will range from 25sf to support typical nearby apartment renters to 600 sf capable of storing RVs and boats.

It is anticipated that this self-storage facility will complement the many other services in the area supporting existing and future residential growth.

The site is currently zoned C-2, we will be requesting rezoning to I-1 consistent with the area plan.

Generally, self storage is considered low impact for sewer allocation. This project proposes a total flow allocation of 787 gallons per day.

Flow requested:

Self storage = 1gpd per unit

787 units

1gpd * 787 units = 787gpd

7465
0104

BOOK 7465 PAGE 104

13401

CABARRUS COUNTY
FILED
04/16/2007 10:44 AM
LINDA F. MCABEE
Register Of Deeds
By. *[Signature]* Deputy/Asst.
EXCISE TAX \$5000.00

Excise Tax \$5000.00

Tax Lot No. _____ Parcel Identifier No. 4599253433 and 4599156916
Verified by _____ County on the _____ day of _____, 20____
by _____

Mail after recording to **Grantee** ✓
This instrument was prepared by HORACK, TALLEY, PHARR & LOWNDES, P.A. (JTM/rad)

Brief Description for
index

Vacant Land West Side of Weddington
Road Extension

NORTH CAROLINA SPECIAL WARRANTY DEED

THIS DEED made this 13th day of April, 2007 by and between

GRANTOR

GRANTEE

JORICK MANAGEMENT, LLC, a North Carolina
limited liability company

WEDDINGTON ROAD PROEPRTIES, LLC, a North
Carolina limited liability company

Tax Mailing Address:
c/o Biltmark Development, Inc.
1510-A South Third Street
Wilmington NC 28402

Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g., corporation or
partnership.

The designation Grantor and Grantee as used herein shall include said parties, their
heirs, successors, and assigns, and shall include singular, plural, masculine, feminine
or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the
receipt of which is hereby acknowledged, has and by these presents does grant, bargain,
sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land
situated in City of Concord, Township No. 2, Cabarrus County, North Carolina and more
particularly described on Exhibits A-1 and A-2 attached hereto and incorporated herein by
reference.

26

The property hereinabove described was acquired by Grantor by deeds from First Concord Corporation recorded in the Cabarrus County Public Registry in Book 2090 Page 147 and Book 6044 Page 127.

A map showing the above described property is recorded in Map Book n/a Page n/a.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor has done nothing to impair such title as Grantor received, and Grantor will warrant and defend the title against the lawful claims of all persons claiming by, under or through Grantor, except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions:

1. The lien of 2007 ad valorem taxes which have been prorated between the parties as of the date of closing and which Grantee agrees to pay prior to delinquency.
2. All easements, conditions and restrictions of record.

IN WITNESS WHEREOF, the Grantor has caused this instrument to be executed by authority duly given, the day and year first above written.

JORICK MANAGEMENT, LLC, a North Carolina limited liability company

By: Vergil Earnest Irvin, Jr.
Vergil Earnest Irvin, Jr., Manager

By: Kimberly Irvin
Kimberly Irvin, Manager

State of North Carolina
County of Mecklenburg

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she signed the foregoing document: Vergil Earnest Irvin, Jr. and Kimberly Irvin as Managers of JORICK MANAGEMENT, LLC, a North Carolina limited liability company.

Date: April 13, 2007

Ruth Dromgoole
(official signature of notary)

My Commission Expires: 11-16-09

[OFFICIAL SEAL OR STAMP]



EXHIBIT A-1

Lying and being in No.2 Township, in the City of Concord, Cabarrus County, North Carolina, On the western side of Weddington Road Extension and on the north side of Rocky River, adjoining the property of Jorick Management, LLC, Being more particularly described as follows:

COMMENCING at N.C.G.S. Station "Rock River", having NAD 83 coordinates of N-595634.2320 and E-1490633.7050; thence N84°10'25"E - 2264.71' to an iron pin, the front corner of Jorick Management, LLC also being the POINT OF BEGINNING; thence with the line of Jorick extended, S57°59'26"E - 49.23' to a point on the right of way of Weddington Road Ext.; thence with said right of way and with a curve to the right, having a radius of 1,095.92'; thence southwesterly along the arc a distance of 440.73' subtended by a chord S42°31'46"W for 437.77' to a point; thence N35°56'55"W - 10.00' to a point thence with a curve to the right, having a radius of 1,085.92'; thence southwesterly along the arc a distance of 412.34' subtended by a chord S64°55'43"W for 409.86' to a point; thence S75°48'23"W - 366.00' to a point; thence with a curve to the left, having a radius of 1,151.39'; thence westerly along the arc a distance of 262.57' subtended by a chord S69°16'24"W for 262.00' to a point; thence S27°15'28"E - 10.00' to a point; thence with a curve to the left, having a radius of 1,141.35'; thence southwesterly along the arc a distance of 145.90' subtended by a chord S59°04'42"W for 145.80' to a point in the centerline of Rocky River; thence N27°54'38"W - 14.53' to a point in the center of said river and the southeasterly corner of Jorick; thence with the line of Jorick and the old right of way of Weddington Road Ext. and with a curve to the right, having a radius of 1,482.39'; thence northeasterly along the arc a distance of 370.97' subtended by a chord N58°19'26"E for 370.00' to a point; thence N65°34'15"E - 695.32' to a point; thence with a curve to the left, having a radius of 1,382.39'; thence northeasterly along the arc a distance of 503.00' subtended by a chord N55°08'48"E for 500.23' to the POINT OF BEGINNING.

Containing 132,076.17 square feet or 3.03 acres, more or less.

Subject to the following easements belonging to the City of Concord:

PERMANENT DRAINAGE EASEMENT

Lying and being in No.2 Township, in the City of Concord, Cabarrus County, North Carolina, Being more particularly described as follows:

COMMENCING at N.C.G.S. Station "Rock River", having NAD 83 coordinates of N-595634.2320 and E-1490633.7050; thence N84°10'25"E - 2,264.71' to an iron pin, the northeasterly front corner of Jorick Management, LLC; thence S57°40'44"E - 8.60' to a point, the POINT OF BEGINNING; thence S57°40'44"E - 40.63' to a point on the right of way of Weddington Road Extension; thence with a curve to the right, having a radius of 1,095.92'; thence southwesterly along the arc a distance of 440.73' subtended by a chord S42°31'46"W for 437.77' to a point; thence N35°56'55"W - 10.00' to a point; thence with a curve to the right, having a radius of 1,085.92'; thence southwesterly along the arc a distance of 412.34' subtended by a chord S64°55'43"W for 409.86' to a point; thence S75°48'23"W - 234.88' to a point; thence leaving said right of way, N14°11'37"W - 40.00' to a point; thence N70°26'41"E - 106.49' to a point; thence N75°49'08"E - 102.00' to a point; thence S14°10'55"E - 16.00' to a point; thence N75°49'05"E - 27.00' to a point; thence N69°31'40"E - 261.45' to a point; thence N58°37'38"E - 138.27' to a point; thence N46°33'02"E - 276.17' to a point; thence N34°00'03"E - 149.09' to a point, the POINT OF BEGINNING.

Containing 43,575.46 square feet or 1.00 acres, more or less.

Exhibit A-1 continued

ELECTRIC EASEMENT

Lying and being in No.2 Township, in the City of Concord, Cabarrus County, North Carolina,
On the western side of Weddington Road Extension and North of Rocky River,
Being more particularly described as follows:

COMMENCING at N.C.G.S. Station "Rock River", having NAD 83 coordinates of N-595634.2320 and E-1490633.7050; thence S85°39'08"E - 1,944.59' to point A, on the right of way of Weddington Road Ext., the POINT OF BEGINNING; said point also being the beginning of a curve to the right, of which the radius point lies N32°30'14"W, a distance of 1,085.82'; thence southwesterly along the arc, a distance of 115.84' subtended by a chord of S60°33'08"W for 115.78' to point B; thence S72°33'54"W - 372.39' to point C; thence S72°23'01"W - 57.99' to point D; thence S75°48'23"W - 165.78' to point E; thence with a curve to the left, having a radius of 1,151.39'; thence westerly along the arc a distance of 262.57' subtended by a chord S69°16'24"W for 262.00' to point F; thence S27°15'26"E - 10.00' to point G; thence with a curve to the left, having a radius of 1,141.35'; thence southwesterly along the arc a distance of 76.41' subtended by a chord S60°49'21"W for 76.40' to point H; thence leaving the right of way of Weddington Road Ext. N37°17'30"E - 85.91' to point I in the line of Jorick Management, LLC; thence continuing along said line and through the property of Jorick, 72.35' to point J; thence N72°23'01"E - 129.12' to point K in the line of Jorick; thence continuing along said line, 316.07' to point L; thence N72°33'54"E - 477.61' to point M; thence S34°48'34"E - 27.14' to the POINT OF BEGINNING.

Containing 45,078.38 square feet or 1.03 acres, more or less.

This easement lies twenty five feet each side of the centerline of the transmission line as shown on the attached plat.

SANITARY SEWER EASEMENT

A thirty foot sanitary sewer easement from Investment Partners of Charlotte, Ltd. to the City of Concord dated April 15th 1996 and recorded in deed book 1906 page 147 as recorded in the Register of Deeds office in Cabarrus County.

EXHIBIT A-2

Being all that certain parcel of land lying in No. 2 Township Cabarrus County, North Carolina, containing approximately 46.75 acres, bounded on the West by U.S. Interstate Highway 85, bounded on the North by property of Queens Park Business Center Associates, (Deed Book 1226 pg. 227), bounded on the East by the public right-of-way of Weddington Road Extension, and bounded on the South by the Rocky River, and being more particularly described as follows:

BEGINNING at an iron pin in the margin of the right of way US Interstate 85 (having coordinates N 595970.3060, E 1490907.2308), said place of beginning being N 39-08-30 E 433.32 ft. from the monument known as "Rock River", NAD83 (coordinates N 595634.2320, E 1490633.7050); thence from said Point of Beginning, with the margin of the right-of-way of US Interstate 85 along a curve having a radius of 11,620.56 feet, a length of 982.27 feet, and a chord bearing of N. 22-52-05 E. 981.97 feet to an existing iron rebar; thence with the line of Queen Park Business Center Associates S. 57-40-44 E. 1,890.84 feet to an iron pin set in the margin of the right-of-way of Weddington Road Extension; thence with the right-of-way of Weddington Road Extension the following 3 courses and distances:

- (1) a curve with a radius of 1,382.39 feet, a length of 503.01 feet, and a chord bearing of S. 55-08-49 W. 500.24 feet to a new iron pin;
- (2) S. 65-34-15 W. 695.31 feet (passing an iron pin at 602.67 feet) to a point;
- (3) a curve with a radius of 1,482.39, a length of 370.97 feet, and a chord bearing of S. 58-19-26 W. 370.00 feet to the center line of the Rocky River;

thence with the centerline of the Rocky River the following 16 courses and distances:

- (1) N. 27-54-38 W. 54.38 feet;
- (2) N. 52-32-38 W. 60.04 feet;
- (3) S. 81-25-34 W. 133.58 feet;
- (4) N. 75-56-50 W. 61.08 feet;
- (5) N. 86-35-25 W. 48.69 feet;
- (6) N. 60-48-07 W. 99.28 feet;
- (7) N. 39-36-03 W. 34.75 feet;
- (8) N. 24-27-06 W. 87.80 feet;
- (9) N. 32-51-00 W. 41.57 feet;
- (10) N. 40-33-57 W. 68.46 feet;
- (11) S. 85-15-44 W. 98.07 feet;
- (12) S. 79-54-14 W. 133.74 feet;
- (13) S. 35-12-44 W. 69.59 feet;
- (14) S. 80-46-32 W. 46.81 feet;
- (15) N. 73-22-01 W. 75.85 feet;
- (16) N. 38-19-13 W. 24.02 feet,

to a point in the margin of the right of way of U.S. Interstate 85; thence with said margin along a curve having a radius of 11,620.61 feet, a length of 678.49 feet, and a chord bearing of N. 26-57-30 E. 678.39 feet to the point and place of BEGINNING, all as shown on that survey dated February 10, 1998, and prepared by Gaylon L. Kelly, Registered Land Surveyor #L-2863.

There is also granted herewith all of the Grantors rights in that Easement recorded in Deed Book 1198, page 332, for ingress and egress, and the rights granted in that Deed of Easement and Right of Way and Dedication of Right of Way recorded immediately following this instrument.

Nonresidential

Multiply Church (CN-PSA-2023-00003)

280 Concord Parkway S.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	Sanctuary with 1,091 seats	No	No	No	No	No	No

Allocation Request

Total	2023
3,273	3,273

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	1	0	0	0	1

Brief Summary

This proposal is to construct a sanctuary that will hold 1,091 seats. This is going into an existing building that is currently being used by the church. This parcel is zoned General Commercial (C-2). This is located inside the Concord Parkway (US HWY 29)/ Warren C. Coleman Blvd (US HWY 601) Small Area Plan.



CN-PSA-2023-00003






Multiply Church

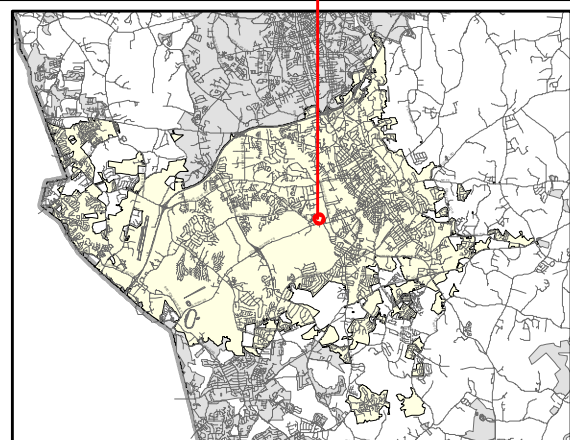
Type: Nonresidential

1,091 seat church sanctuary

Allocation Request: 3,273

Project Score: 1

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Multiply Church				
	2.)	Description of project location:	280 Concord Parkway S, Suite 8 <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>				
	3.)	Cabarrus County Parcel Identification Number:	5610935897	3a.)	Parcel Acreage:	39.58 ac	
	4.)	Site Zoning and use:	C-2, church	5.)	Area Commercial or Industrial Building	(sq. ft.) N/A	
	6a.)	Description of Facility to be served:	Church	6b.) Number of Lots	1	6c.) Number of Units	1
	7d.)	Additional description information:	Renovation of existing commercial property that was previously a Walmart store. Renovations include constructing a worship center(sanctuary) and support spaces.				
	B. Applicant Information	Douglas B. Witherup CEO (Title) <small>(Name of legal owner, board, council, and/or authorized official with title, as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		280 CONCORD PKWY, S. SUITE 85 <small>(Applicant's Street or Box Number)</small>			
MULTIPLY CHURCH <small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		CONCORD NC 28027 <small>(Applicant's City, State, Zip Code)</small>					
704-793-4740 <small>(Applicant's Phone Number)</small>		N/A <small>(Applicant's Facsimile Number)</small>					
BILL BALLANCE ISAD ASSOCIATE (Name) <small>(Name with Title and Email of contact person, who can answer questions about application)</small>		bballance@multiply.church dwitherup@multiply.church <small>(Applicant's Email Address)</small>					
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.							
C. Design Engineer Information if available	Morgan Woolner <small>(Typed name of North Carolina Professional Engineer)</small>			Benesch <small>(Company Name)</small>			
	53444 <small>(NCPE Registration Number)</small>			2359 Perimeter Pointe Parkway <small>(Street or Box Number)</small>			
	704-943-3172 <small>(Phone Number)</small>			Charlotte, NC 28208 <small>(City, State, Zip Code)</small>			
	Wesley Sherrill, project manager (704)943-3175 wsherrill@benesch.com <small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>			mwoolner@benesch.com <small>(Engineer's Email Address)</small>			

Multiply Church Project Narrative

This project involves renovating an existing commercial building located at 280 Concord Parkway South. The building was originally occupied by Walmart. Once Walmart moved to its current location, Multiply Church (First Assembly) purchased the building and has been using it to house various programs & classes provided by the Church.

The proposed project will construct, within the existing building footprint, a sanctuary with a seating capacity of 1091. The remaining space will be lobby, classrooms, café, bookstore, gathering space and restrooms. The proposed project will also renovate the building's front façade and parking lot. The facility will not have a kitchen or daycare. There are no proposed modification to the existing sewer service.

Per NCAC 2T, the average daily wastewater flow for a church without a kitchen or daycare is 3 gal/seat. This being the case, the estimated average wastewater flow will be 3,273 GPD.

It is believed the original Walmart project was granted a wastewater allocation of 6,598 GPD. This is based on 65,980 sf retail space x 100 GPD/1,000 sf.; again according to NCAC 2T. We have been informed by the City staff that even though the building was originally permitted to discharge more than 6,000 GPD, that flow is no longer considered valid since the building has not been used for retail in a many years. Currently the facility is using on average 100 GPD. We are therefore requesting allocation for 3,273 GPD.

1.10.23

Nonresidential

2361 Concord Lake Rd. (CN-PSA-2023-00005)

2361 Concord Lake Rd.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	6 storefronts 8,995 sf	No	No	No	No	No	No

Allocation Request

Total	2023
825	825

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The applicant is proposing to purchase a strip mall that has 6 storefronts which equates to 8,995 sq. ft. of retail/commercial space. This space is located at 2361 Concord Lake Rd. This parcel is zoned General Commercial (C-2).









CN-PSA-2023-00005
2361 Concord Lake Rd

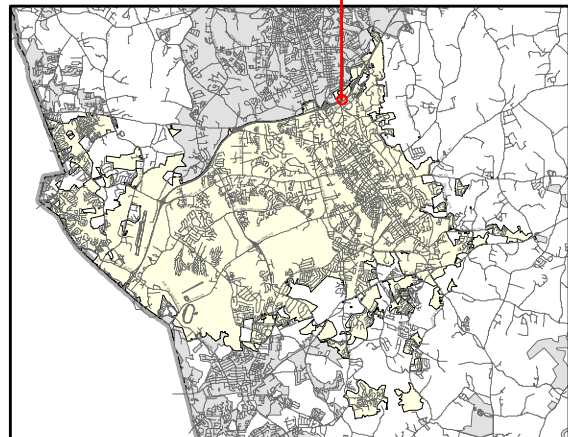
Type: Nonresidential

6 storefronts 8,995 sf strip mall

Allocation Request: 825

Project Score: 1

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County
-  Other Municipalities





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	2361 CONCORD LAKE ROAD			
	2.)	Description of project location:	restore abandoned property from 85 widening project of strip mall			
	(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
	3.)	Cabarrus County Parcel Identification Number:	56223244710000	3a.)	Parcel Acreage:	.8 acres
	4.)	Site Zoning and use:	C2	5.)	Area Commercial or Industrial Building	8995
	6a.)	Description of Facility to be served.	retail	6b.)	Number of Lots	1
	7d.)	Additional description information:	we are purchasing this residue property from the 85 widening project. As of now this building is abandoned and the plan is to restore building back to usable retail spaces			
6c.)	Number of Units	6 storefronts				

B. Applicant Information	Jody & Edie Tolson (pending purchase)					
	(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)			8244 Gold Hill Road		
				(Applicant's Street or Box Number)		
	(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings as applicable.)			Rockwell NC 28138		
				(Applicant's City, State, Zip Code)		
	704-699-0309			(Applicant's Facsimile Number)		
(Applicant's Phone Number)			edietolson1@gmail.com			
Edie Tolson		(Name)	edietolson1@gmail.com		(Email)	
(Name with Title and Email of contact person, who can answer questions about application)			(Applicant's Email Address)			

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available						
	(Typed name of North Carolina Professional Engineer)			(Company Name)		
	(NCPRE Registration Number)			(Street or Box Number)		
	(Phone Number)			(City, State, Zip Code)		
	(Name and affiliation of contact person, who can answer questions about application & designs)			(Engineer's Email Address)		

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input checked="" type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

- No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 825 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

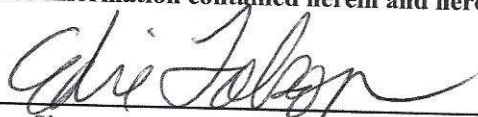
5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114
 a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
 b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.
{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow
beauty shops	125 gal/	booth	3	GPD 375
stores and shopping centers	100 gal/	1000 sq ft	4500 sq ft	GPD 450
	gal/			GPD
	gal/			GPD
	gal/			GPD
	gal/			GPD
			Total	GPD 825

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Edie Tolson, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.


 Signature:

12-30-2022

Date:

Narrative for CN-PSA-2023-00005

2361 Concord Lake Road is an abandoned strip mall from the NCDOT 85 widening project. The State realized that this property did not need to be torn down after all. They decided to make it a residue property and have it appraised and set for sealed bidding. We were the highest bidder on this residue property and are now in our due diligence period before transferring the money for the property. The strip mall is 8995 sq. ft. which will in the future be the new location for Merle Norman Cosmetics and Edie's Salon and Two Blonde Chicks Fine Consign and we are going to lease out the rest of the space for local business owner's to develop into their own stores. We will be updating the building's exterior to be more modern for 2023 and landscaping and parking lot updates. This will be the perfect place for small business to get a great start! We are excited about this new venture with my 34 years of experience in business development and my general contractor Jody (my husband) 25 years experience in building development. We are looking forward to helping our town and community continue to grow and be successful!! Thank you, Edie and Jody Tolson

Nonresidential

Spec Office Building (CN-PSA-2023-00015)

387 Faggart Ave. NW

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	6,000 sq. ft. office space	No	No	No	No	No	No

Allocation Request

Total	2023
1,500	1,500

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for 6,000 sq. ft. of office space for two tenants located at 387 Faggart Ave. NW. This property is zoned General Commercial (C-2) The applicant says this isn't associated with Smoke Pit.



CN-PSA-2023-00015






Spec Office Building

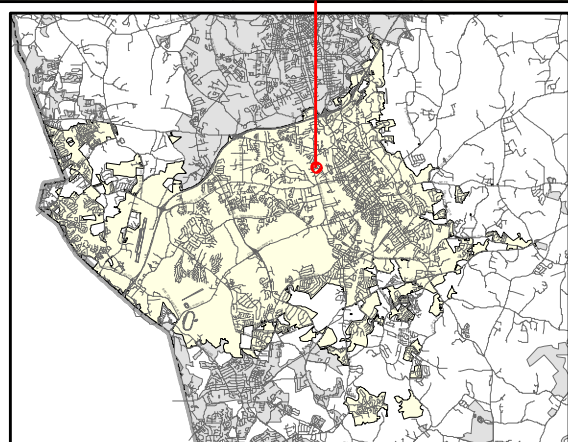
Type: Nonresidential

6,000 sf 2 tenant office building

Allocation Request: 1,500

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Spec Office					
	2.)	Description of project location:	Concord Pkwy N between Faggart Ave and Callaway Ave NW <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)</small>					
	3.)	Cabarrus County Parcel Identification Number:	56119223490000	3a.)	Parcel Acreage:	1.022		
	4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building	(sq. ft.) 6000		
	6a.)	Description of Facility to be served.	Spec Office	6b.)	Number of Lots	6c.)	Number of Units	N/A
	7d.)	Additional description information:	Spec office building for 2 tenants. Each tenant space will have (2) unisex restrms and (1) breakrm.					
	B. Applicant Information	Devin Barbee		796 Concord Pkwy N				
<small>(Name of legal owner, board, council, and/or authorized official with title: as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>						
Barbee Investments LLC		Concord NC 28027						
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>						
704-796-5447		N/A						
<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>						
Elizabeth Trick, AIA <small>(Name)</small>		ELIZABETH@BOGLEFIRM.COM <small>(Email)</small>		dbarbee10@yahoo.com				
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>						
REQUIRED								
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.								
C. Design Engineer Information if available	Sam Collins. PE		SE Collins Consulting Engineering					
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>					
	31024		1817 E Innes St					
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>					
	704-638-6337		Salisbury NC 28146					
<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>						
Sam Collins, PE		scollins@scollinseng.com						
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>						

The **BOGLE** Firm, PLLC
Architecture • Planning • Consulting



Spec Office Project Narrative
PIN 56119223490000
387 Faggart Ave NW, Concord

The proposal is for the construction of a new 6,000 SF spec office building for two tenants. Each tenant space will have 3,000 SF with (2) unisex restrooms and (1) breakroom. Please see attached schematic site plan that has been submitted with this application.

This project is a separate business venture and not associated with the Smoke Pit Restaurant.

Nonresidential

Old Charlotte Grille (CN-PSA-2023-00016)

888 Old Charlotte Rd. SW

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	2,800 sf dine in restaurant	No	No	No	No	No	No

Allocation Request

Total	2023
2,400	2,400

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for 2,800 sq. ft. dine in restaurant located at 888 Old Charlotte Rd. The parcel is currently zoned General Commercial (C-2).



CN-PSA-2023-00016






Old Charlotte Grille

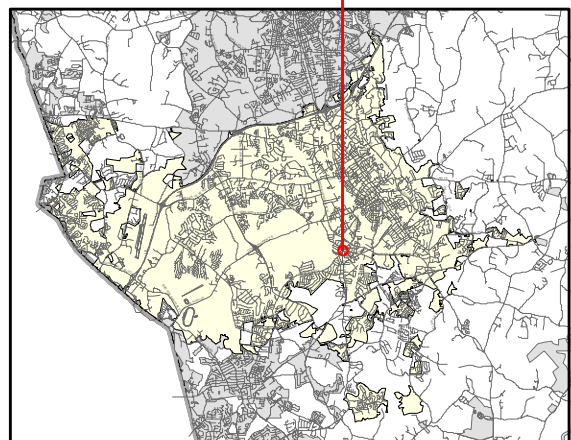
Type: Nonresidential

2,800 sf dine in restaurant

Allocation Request: 2,400

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD

Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.) Project Title:	OLD CHARLOTTE Grille		
	2.) Description of project location:	888 old charlotte rd corner lot hisland Av / old charlotte rd <small>(Example: Site located on (Road name) SR ####, approx ### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)</small>		
	3.) Cabarrus County Parcel Identification Number:	53293851520000	3a.) Parcel Acreage:	0.34
	4.) Site Zoning and use:	C2 Restaurants	5.) Area Commercial or Industrial Building	2,400 (sq. ft.)
	6a.) Description of Facility to be served:	Restaurant eat in	6b.) Number of Lots	1
			6c.) Number of Units	1
	7d.) Additional description information:	Dine in restaurant serves breakfast/lunch/dinner specials / ice cream		
B. Applicant Information	Phillip Lee Morris owner (Title)		599 Jackson Terr SW (Applicant's Street or Box Number)	
	Prestige Properties NC Inc (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable)		CONCORD NC 28027 (Applicant's City, State, Zip Code)	
	(704) 791-2089 (Applicant's Phone Number)		(704) 793-8063 (Applicant's Facsimile Number)	
	Phillie Morris (Name) Prestigepropertiesnc@gmail.com (Email)		PhillieMorris1984@yahoo.com (Applicant's Email Address)	
	REQUIRED			
	Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.			
C. Design Engineer Information if available	(Typed name of North Carolina Professional Engineer)		(Company Name)	
	(NCPE Registration Number)		(Street or Box Number)	
	(Phone Number)		(City, State, Zip Code)	
	(Name and affiliation of contact person, who can answer questions about application & designs)		(Engineer's Email Address)	

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/> Residential Subdivision	<input type="checkbox"/> Retail (Stores, shopping centers)
<input type="checkbox"/> Apartments/Condominiums	<input type="checkbox"/> Institution
<input type="checkbox"/> Mobile Home Park	<input type="checkbox"/> Hospital, nursing home, dental
<input type="checkbox"/> School, preschool, daycare	<input type="checkbox"/> Church
<input checked="" type="checkbox"/> Restaurants (Food or drink facilities)	<input type="checkbox"/> Sports Centers
<input type="checkbox"/> Hotels or motels	<input type="checkbox"/> Business, offices, factories
<input type="checkbox"/> Other (specify): _____	

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 2,400 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

- a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
- b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

[Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.]

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Restaurant full service	40 gal/ Seat	60	GPD 2,400
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Phillip Lee Morris, the undersigned, do hereby make application for preliminary wastewater

(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.



Signature:

1/19/23

Date:

To whom it may concern,

Here at Prestige Properties NC (North Carolina), we strive to build and create useful services to support the ever-changing community. This project is currently being called the "Old Charlotte Grille and Sweets" we believe building this is a necessity for our ever-growing community.

The establishment will be in an area of Concord NC that has grown drastically over the past few years without the growth of any other new mom and pop restaurants in the area.

This project will be at 888 Old Charlotte Road, zoned C2. This restaurant will be instrumental to the neighborhood and pose as a great asset to the public breathing life back into the community. Part of our daily offering's patrons will be able to grab a quick breakfast, lunch, or dinner. Local bakers will also have a variety of desserts to choose from as well as ice cream and cupcakes. We will use local subcontractors to grade/erect the building while also utilizing as many green building practices as possible.

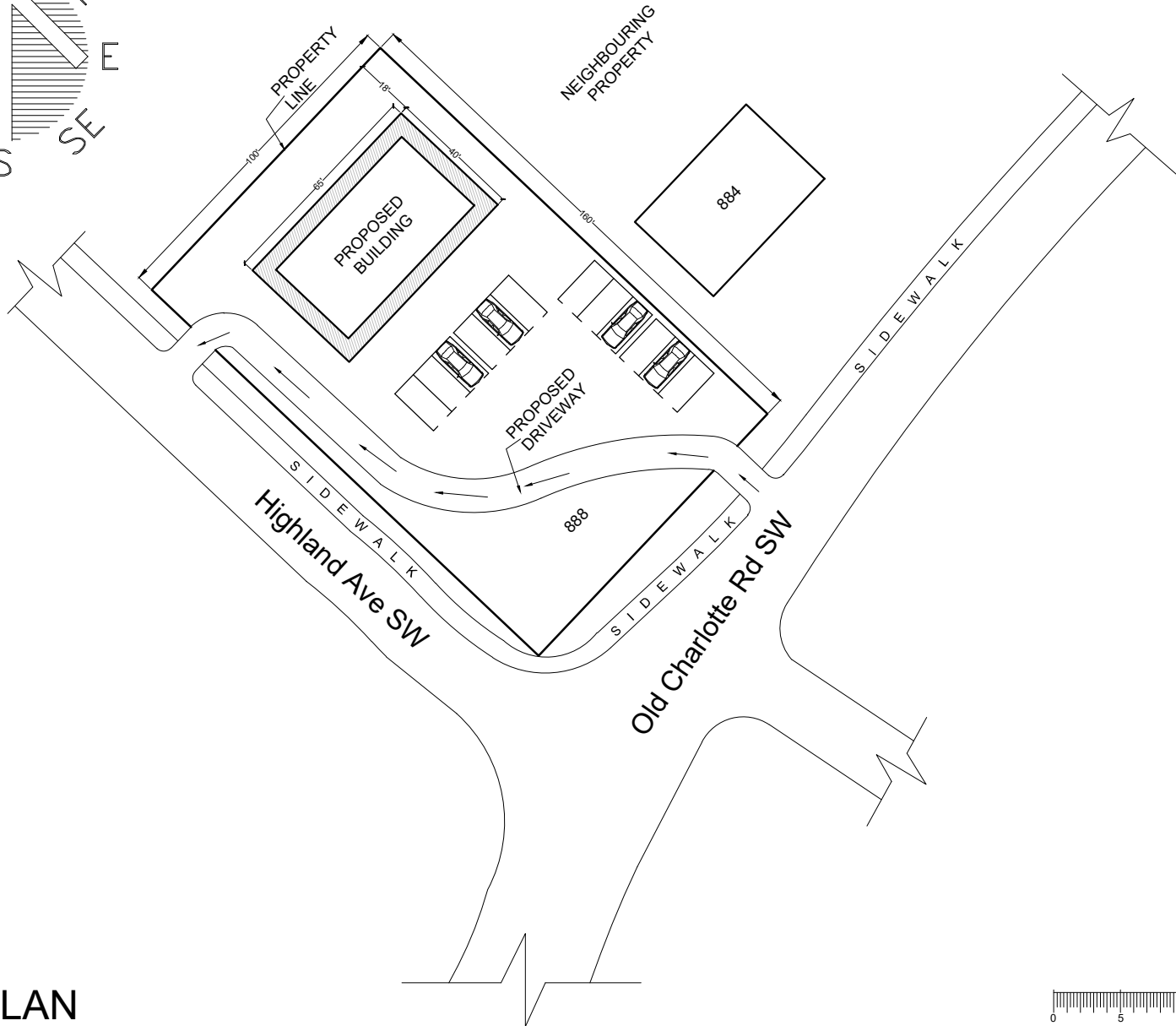
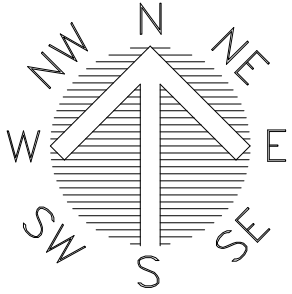
Once built and opened, we will incorporate new green waste conservation and tactics as much as possible including recycle, reuse and compost program Ex: scraping plates into a compost bin which saves water and reduces solid waste. Compost will go to local farms for their use.

Our business will strive to use water conserving valves, toilets and 3 ways sink in the kitchen to further conserve water. Our business will also use energy efficient appliances and train staff in energy and water conservation practices. Our business will prepare the landscaping with water conservation in mind to provide proper runoff. The planned budget for this project is approximately \$350,000.

In closing if our business is allocated to come to fruition we will strive to be as green as possible as we grow and make Concord one of the #1 places to live and play.

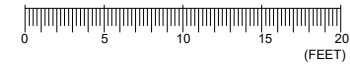
Thank you

Phillip L. Morris



SITE PLAN

SCALE: 1/16" = 1'-0"



STAMP:

NOTES:

PROJECT LOCATION: 888 old charlotte rd
Concord nc 28027

PROJECT OWNER AND ADDRESS:

PROJECT DESCRIPTION:

DRAWING NAME: SITE PLAN

Date: 18-01-2023
 Project number:
 Drawn by:
 Checked by:
 Dwg No: A-02
 Page Number: 02

Nonresidential

Charlotte Motor Speedway Road Course Clubhouse (CN-PSA-2023-00019)

5555 Concord PKWY S

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
12/8/2022	Yes	13,000 sq. ft. clubhouse	No	No	No	Yes	No	No

Allocation Request

Total	2023
5,000	5,000

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for a 13,000 sq. ft. clubhouse located at 5555 Concord PKWY S. This project is phase two of the Charlotte Motor Speedway's plans for a road course. The parcel is split between the City of Concord and the Town of Harrisburg. The parcel located inside the City is zoned Public Interest Development District (PID).



CN-PSA-2023-00019

Charlotte Motor Speedway Road Course Clubhouse

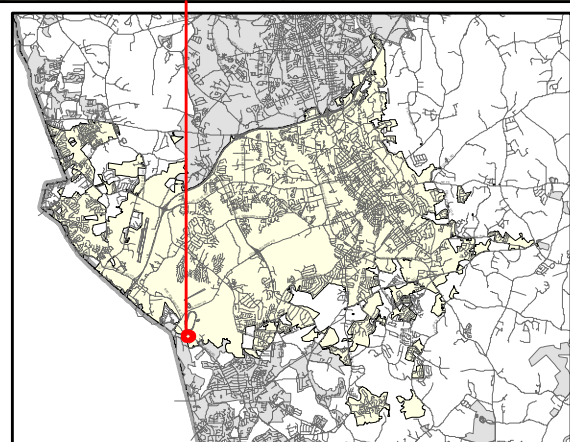
Type: Nonresidential

13,000 sf Club House

Allocation Request: 5,000

Project Score: 0

- Developments
- Parcels
- Rivers
- Concord
- Cabarrus County
- Other Municipalities





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Charlotte Motor Speedway Road Course Clubhouse			
	2.)	Description of project location:	Site located on south of Morehead Road between US29 (Concord Parkway) and Performance Drive. <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)</small>			
	3.)	Cabarrus County Parcel Identification Number:	45986516470000	3a.)	Parcel Acreage:	84.13 AC
	4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building	(sq. ft.) 13,000
	6a.)	Description of Facility to be served:	Recreational Clubhouse	6b.) Number of Lots	1	6c.) Number of Units 0
	7d.)	Additional description information:	Future 13,000 sf clubhouse not included on Early Grading Submittal			
	B. Applicant Information	Stephen Swift Senior VP (Title)		P.O. Box 600		
<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>				
Speedway Motorsports, Inc		Concord NC, 28026				
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>				
704.455.3205		N/A				
<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>				
Robert Bell (Name)		rbell@landdesign.com (Email)	sswift@speedwaymotorsports.com			
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>				
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Shannen Scott Thompson		LandDesign			
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>			
	050006		223 N. Graham Street			
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>			
	704.333.0325		Charlotte, NC 28202			
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>			
Robert Bell		rbell@landdesign.com				
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>				

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input checked="" type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: _____ 5,000 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

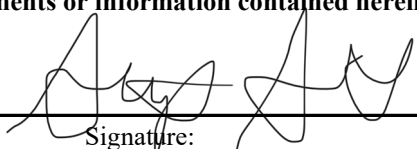
{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Motocross Racing Center	250 gal/ plumbing fixture	20	GPD 5,000
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 5,000

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Stephen Swift, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: 

Date: 1/20/2023

PROJECT NARRATIVE

Project: Charlotte Motor Speedway Road Course - Clubhouse

LDI PN: 1019528

Date: Created: January 20, 2023

Description:

The Charlotte Motor Speedway Road Course Clubhouse is a secondary phase following Road Course completion in Cabarrus County, North Carolina. The initial package is for the grading of a recreational membership road course race track on an 84.13 acre site southeast of Morehead Road and US-29 (Concord Parkway). This will not include any sewer flows. A secondary Clubhouse package will follow this, and include an approximately 13,000 gross square feet clubhouse, garages, and amenity area.

Clubhouse plans are currently conceptual, but only public restrooms and a small kitchen are planned. We have estimated approximately 20 plumbing fixtures at a flow usage of 250 GPD/plumbing fixture per NCDEQ wastewater flows. Sewer will connect to an existing trunkline in the southeast corner of the site within Harrisburg city limits, and the service will extend upstream to the clubhouse.

Nonresidential

Old Tire Shop (CN-PSA-2023-00020)

394 Church St. N

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
No	Yes	1,353 sf beauty salon	No	No	No	No	No	No

Allocation Request

Total	2023
750	750

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	1	0	0	0	1

Brief Summary

This proposal is for a 1,353 sq. ft beauty salon located at 394 Church St. N. This parcel is currently zoned General Commercial (C-2). This parcel is also located inside the Center City Plan.



CN-PSA-2023-00020






Old Tire Shop

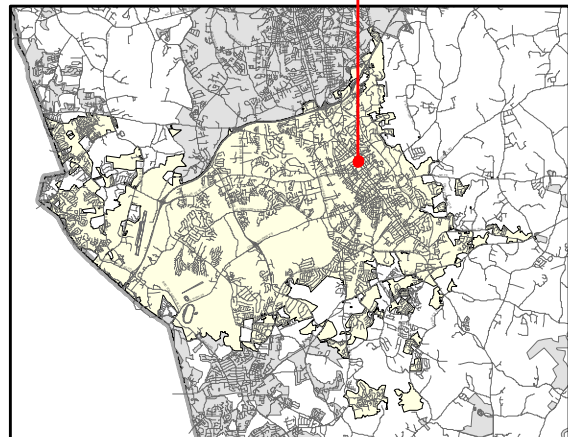
Type: Nonresidential

1,353 sf beauty salon

Allocation Request: 750

Project Score: 1

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Old Tire Shop				
	2.)	Description of project location:	394 Church St N, Concord NC 28025				
	<small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>						
	3.)	Cabarrus County Parcel Identification Number:	5621-62-1159	3a.)	Parcel Acreage:	.41	
	4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building	(sq. ft.) 1353	
	6a.)	Description of Facility to be served:	beauty shop	6b.) Number of Lots	1	6c.) Number of Units	1
	7d.)	Additional description information:	Redeveloping an old tire shop into a beauty shop				
B. Applicant Information	Dustin Sprinkle / Michael Hanzlik managers <small>(Title)</small>		31 Grove Ave NW				
	<small>(Name of legal owner, board, council, and/or authorized official with title: as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>				
	Two Kings Investors LLC		Concord NC 28025				
	<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>				
	704-497-6156 / 704-467-6473		<small>(Applicant's Facsimile Number)</small>				
	<small>(Applicant's Phone Number)</small>		dustinsprinkle@gmail.com / mjhanzlik7@gmail.com				
	Virginia Moore, Reg. Architect <small>(Name)</small> vmoore@cmoorearch.com <small>(Email)</small>		<small>(Applicant's Email Address)</small>				
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		REQUIRED					
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.							
C. Design Engineer Information if available	Gregory A Riffe		GAR Engineering				
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>				
	16396		PO Box 264				
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>				
	704-721-6449		Harrisburg NC 28075				
<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>					
Ryan Holzmeyer		ryan@garengineering.com					
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>					

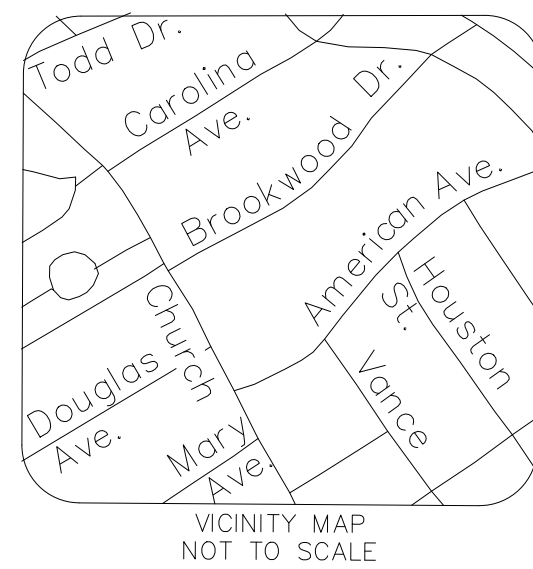
Project Narrative & Sewer Calculation for Old Tire Shop
394 Church St N
Concord NC 28025
PIN – 5621-62-1159
Zoned C-2
.41 ac

This project is the vacant red building that was the former location of the Old Lupita's Tire Shop at the Corner of American and Church St. The new owner's have planned an extensive renovation to this building that has historically been an aesthetic nuisance.

There will be a significant amount of site work to remove some existing impervious surface, add a landscaped streetscape, add handicap parking, and define driveways. They plan to remove the red metal panels, update the exterior, and renovate the interior to become an upscale beauty shop. The old garage doors will be replaced with glass overhead doors and there will be an industrial interior aesthetic. There are plans for 6 booths / stations and 2 wash bowls.

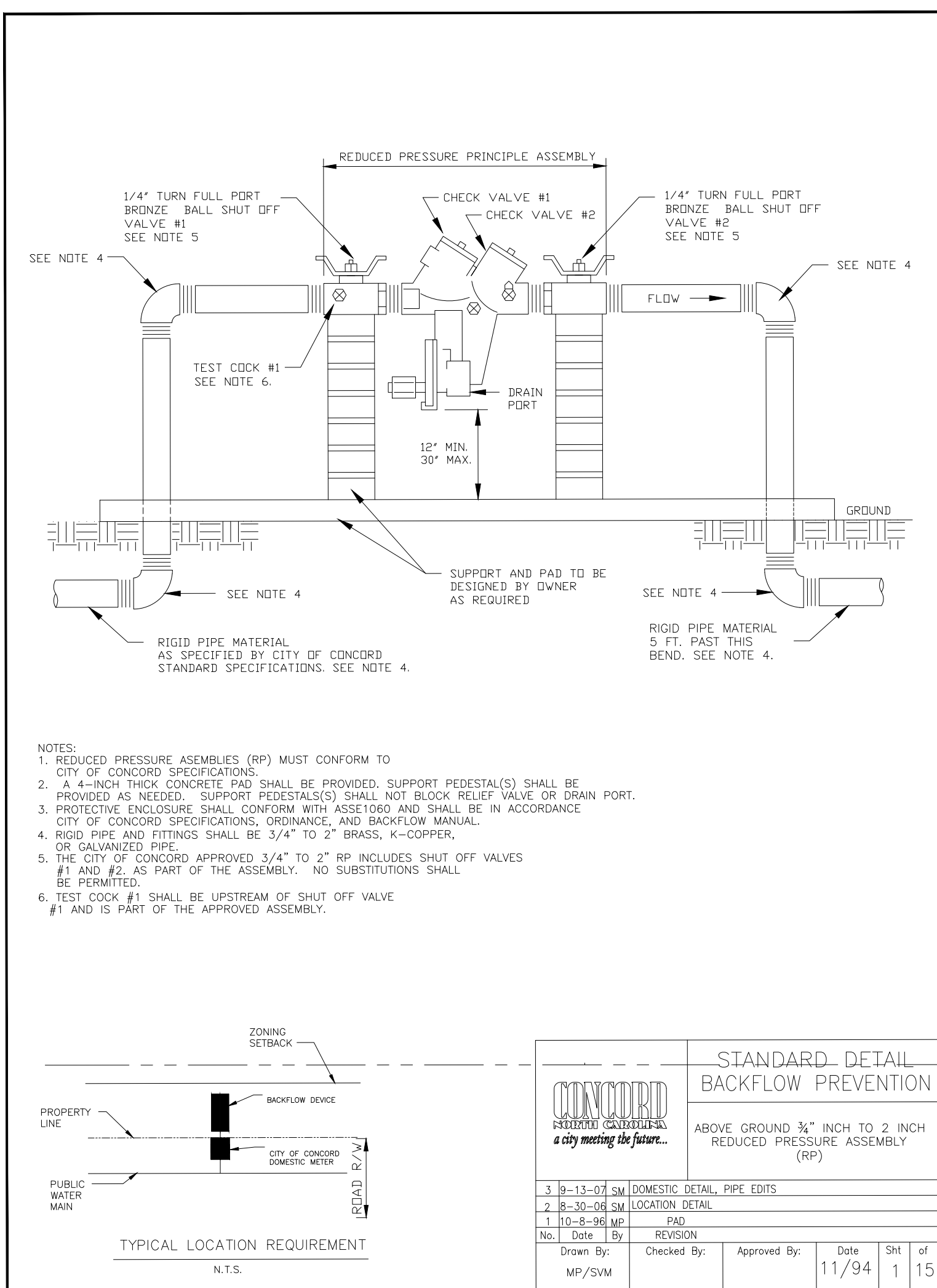
The overall project will improve this corner of Church Street. It will also continue the redevelopment and enhancement of existing buildings and new projects on Church Street.

Total wastewater requested on the application:
6 booths @ 125 gallons per booth per day
750 GPD requested

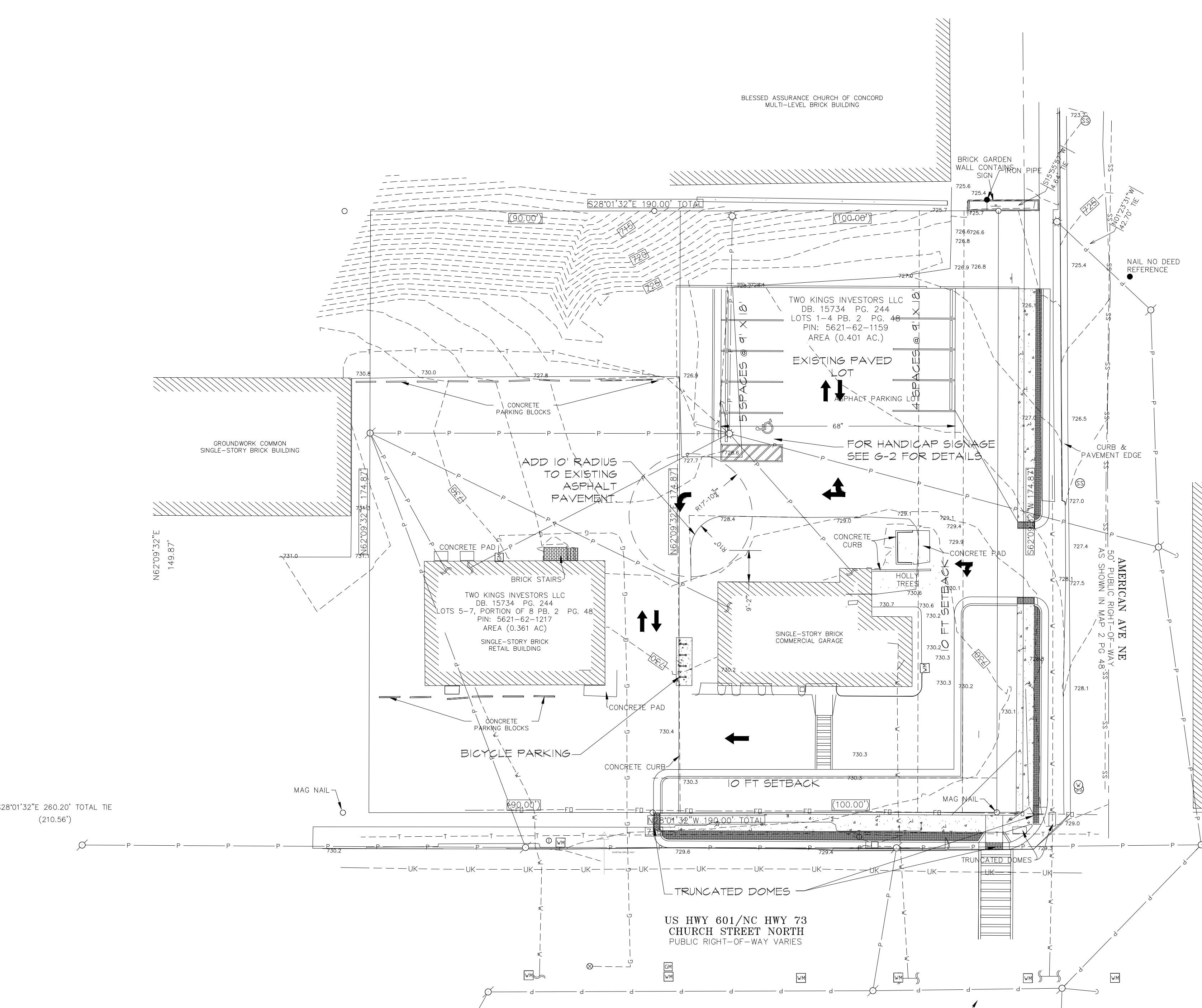


VICINITY MAP
NOT TO SCALE

SITE DATA	
PIN:	5621-62-1159
ACREAGE:	0.401 (17,500SF)
ZONING:	C-2 (GENERAL COMMERCIAL)
PROPOSED USE	
SALON	
IMPERVIOUS SURFACE	
ALLOWED (80%)	14,000 SF
EXISTING (87%)	15,225 SF
TO BE REMOVED	1,375 SF
TO BE ADDED	0
TOTAL AFTER IMPROVEMENTS	13,850 SF
SETBACKS	
FRONT	- 10'
SIDE	- 0'
REAR	- 0'
SQUARE FOOTAGE	
PROPOSED SF OF NEW STRUCTURE	0 SF
SF OF EXISTING STRUCTURES	1,607 SF
NET - NEW SF	0 SF
PARKING REQUIRED	
1 SPACE/200 SF	
1,608 SF/200 SF = 8 SPACES REQUIRED.	
PARKING SHOWN: 10 SPACES (SEE G-2 FOR ACCESSIBLE PARKING STANDARDS)	
BICYCLE PARKING	
OCCUPANCY NOT SHOWN (ON CHART): 4 SPACES MIN. REQUIRED.	
4 "U" RACKS SHOWN = 8 SPACES	
HEIGHT OF BUILDING : 16'-0"	
MAX ALLOWED: 40'-0"	
UTILITIES - WATER & SEWER TAPS EXISTING.	



1 BACKFLOW PREVENTION DETAIL
SCALE 1"=20'-0"



2 PROPOSED SITE PLAN
SCALE 1"=20'-0"

- LEGEND**
- EIP (AS DESCRIBED)
 - SIP (#5 REBAR W/CAP)
 - WFS (NO POINT SET)
 - WATER MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - WATER VAULT
 - STORM MANHOLE
 - CATCH BASIN
 - DROP INLET
 - TELEPHONE POLE
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - POWER POLE
 - LIGHT POLE
 - TRANSFORMER
 - ELECTRIC BOX
 - GUY WIRE
 - HEAT PUMP
 - TRAFFIC SIGNAL BOX
 - CABLE TV BOX
 - FIBER OPTIC BOX
 - TELEPHONE BOOTH
 - ROAD SIGN
 - TEMPORARY PEDESTAL
 - 167.7 SPOT ELEVATION
 - BOUNDARY LINE (AS SURVEYED)
 - BOUNDARY LINE (BY DEED OR PLAT)
 - RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - TIE LINE
 - MAJOR CONTOUR LINE
 - MINOR CONTOUR LINE
 - SD - STORM SEWER PIPE
 - SS - SANITARY SEWER PIPE
 - SD - PIPE END NOT FOUND OR LOCATED
 - OVERHEAD POWER LINE
 - OVERHEAD TRAFFIC SIGNAL LINE
 - OVERHEAD TELEPHONE LINE
 - BURIED POWER LINE
 - BURIED TELEPHONE LINE
 - BURIED FIBER OPTIC LINE
 - BURIED CABLE TV LINE
 - BURIED GAS LINE
 - BURIED WATER LINE
 - FENCE LINE
 - DITCH / DRAIN LINE
 - TREE LINE

TWO KINGS PROPERTIES

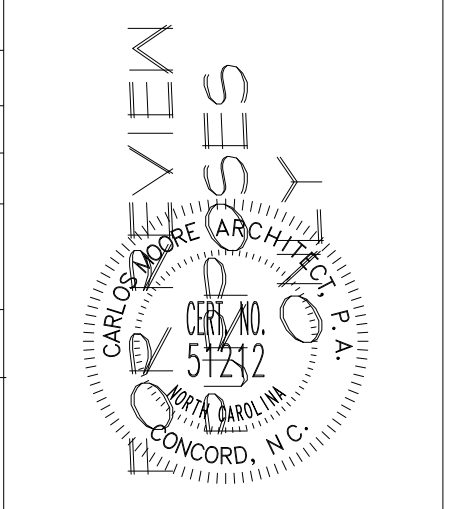
NO. 12 TOWNSHIP, CITY OF CONCORD, CABARRUS CO., NORTH CAROLINA
FOR CLIENT:
TWO KINGS INVESTORS LLC
49 FRANKLIN AVE
CONCORD, NC 28025

DATE: MARCH 15, 2022
REVISED: ---
SCALE: 1" = 20'
JOB NO.: 220013.000

COMPUTED BY: MJB
DRAWN BY: MJB
CHECKED BY: DLH

CESI CIVIL - GEOTECHNICAL - SURVEYING
N.C. FIRM LICENSE NO. C-0263
45 SPRING STREET SW CONCORD (704) 786-5404
CONCORD, NC 28025 FAX (704) 786-7454
ACAD FILE: _DWG
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EST. 1987
ARCHITECT PA
222 CHURCH ST. N. CONCORD, NC 28025
T-704.786.8333 F-704.782.0487
WWW.CMREARCH.COM

PROJECT TITLE:
UPFIT FOR
OLD TIRE SHOP
394 CHURCH ST. N. CONCORD, NC

SHEET TITLE:
PROPOSED SITE PLAN

TODAY'S DATE: 01/19/2023
SCHEMATIC DESIGN APPR: XXXXX
ORIGINAL SEAL DATE: XXXXX

REVISIONS:

DRAWING NUMBER: 220605 SP2
DRAWN BY: VLM & RGW
PROJECT MGR: VLM
CHECKED BY: V. MOORE

SHEET
SP-2
of 3 TOTAL # OF SHEETS: 21

Nonresidential

Jacobs Crossing Office Space (CN-PSA-2023-00022)

3420 Jacobs Crossing Blvd. SW.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	24,000 sf Office/medical/ retail	No	No	No	No	No	No

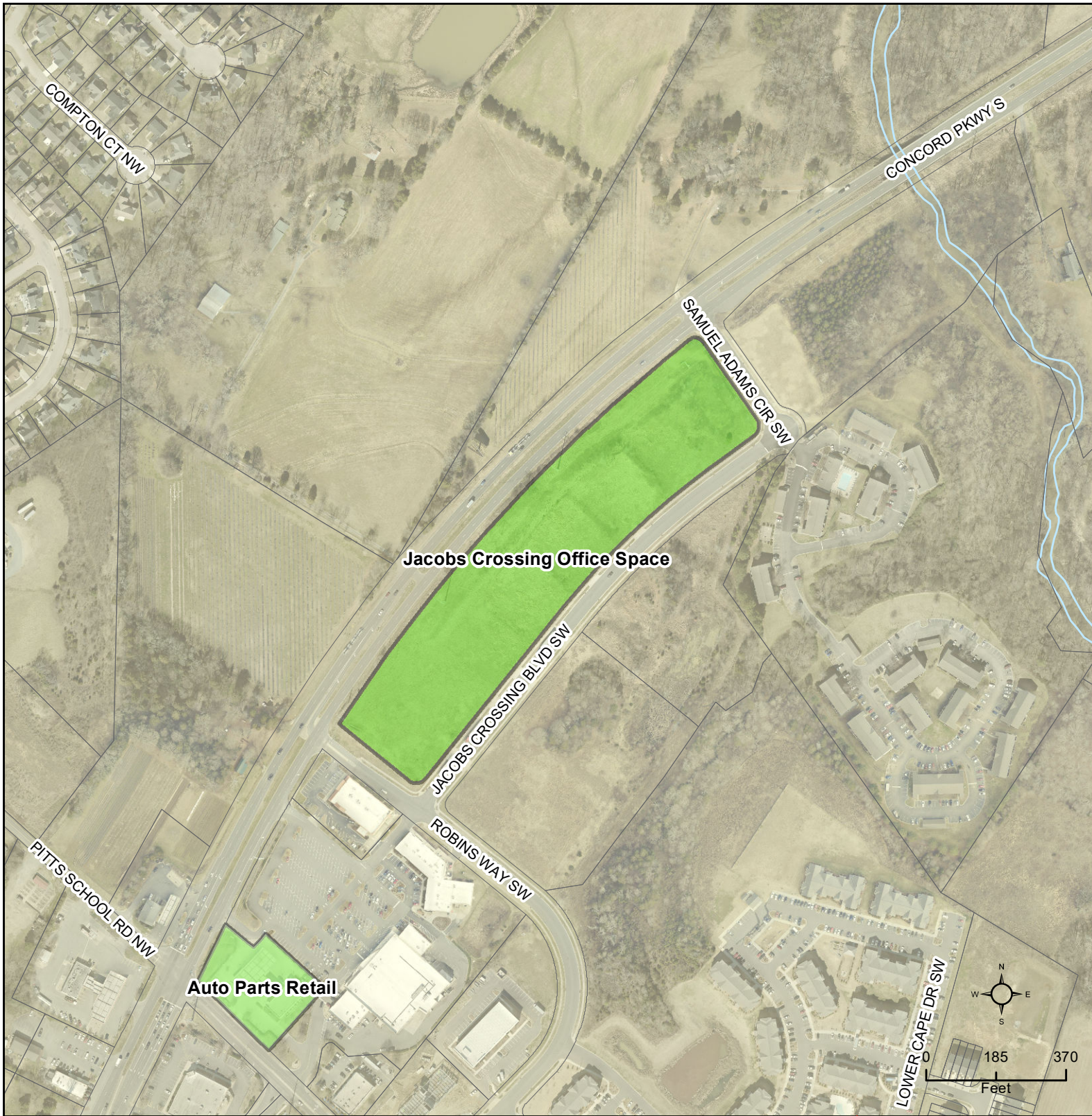
Allocation Request

Total	2023
1,875	1,875

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for the parcel to be subdivided into 3 parcels and an 8,000 sq. ft building to be placed on each. The applicant plans to have 5 separate units in each building. This parcel is zoned General Commercial (C-2).



CN-PSA-2023-00022






Jacobs Crossing Office Space

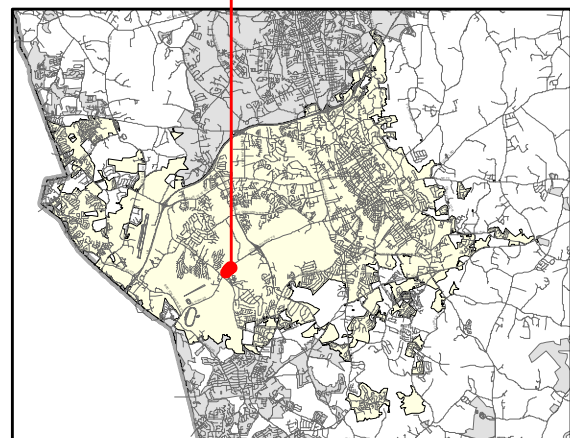
Type: Nonresidential

24,000 sf, three 8,000sf buildings

Allocation Request: 1,875

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Jacobs Crossing Office Space			
	2.)	Description of project location:	Site located on Jacobs Crossing Blvd, approximately 355ft north of the intersection of Jacobs Crossing Blvd and Robins Way. <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)</small>			
	3.)	Cabarrus County Parcel Identification Number:	55094449700000	3a.)	Parcel Acreage:	8.983 ac
	4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building	(sq. ft.) 24,000
	6a.)	Description of Facility to be served.	Business	6b.) Number of Lots	3	6c.) Number of Units 15
	7d.)	Additional description information:	This project will be 3 separate lots on a portion of this parcel. Each lot will have a 8,000 sf building.			
	B. Applicant Information	Brian Edenfield (Owner) <small>(Title)</small>		215 Milford Cir. <small>(Applicant's Street or Box Number)</small>		
<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		Mooresville, NC, 28117 <small>(Applicant's City, State, Zip Code)</small>				
Settlers Landing Commercial, LLC <small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		713-859-6309 <small>(Applicant's Phone Number)</small>				
Ross Godwin <small>(Name)</small> rgodwin@bowman.com <small>(Email)</small> <small>(Name with Title and Email of contact person, who can answer questions about application)</small>		edenfield@sbcglobal.com <small>(Applicant's Email Address)</small>				
REQUIRED						
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Matt Lowder <small>(Typed name of North Carolina Professional Engineer)</small>		Bowman North Carolina, Ltd. <small>(Company Name)</small>			
	24434 <small>(NCPE Registration Number)</small>		4006 Barrett Dr., Suite 104 <small>(Street or Box Number)</small>			
	919-553-6570 <small>(Phone Number)</small>		Raleigh, NC, 27606 <small>(City, State, Zip Code)</small>			
	<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		mlowder@bowman.com <small>(Engineer's Email Address)</small>			

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

<p>1.) The origin of this wastewater is (check all that apply):</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td><input type="checkbox"/></td> <td>Residential Subdivision</td> <td><input type="checkbox"/></td> <td>Retail (Stores, shopping centers)</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Apartments/Condominiums</td> <td><input type="checkbox"/></td> <td>Institution</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Mobile Home Park</td> <td><input type="checkbox"/></td> <td>Hospital, nursing home, dental</td> </tr> <tr> <td><input type="checkbox"/></td> <td>School, preschool, daycare</td> <td><input type="checkbox"/></td> <td>Church</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Restaurants (Food or drink facilities)</td> <td><input type="checkbox"/></td> <td>Sports Centers</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Hotels or motels</td> <td><input checked="" type="checkbox"/></td> <td>Business, offices, factories</td> </tr> <tr> <td><input type="checkbox"/></td> <td colspan="3">Other (specify): _____</td> </tr> </table>		<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)	<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution	<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental	<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church	<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers	<input type="checkbox"/>	Hotels or motels	<input checked="" type="checkbox"/>	Business, offices, factories	<input type="checkbox"/>	Other (specify): _____			<p>2.) The type of wastewater is (indicate percentage):</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">100</td> <td>% Domestic</td> </tr> <tr> <td></td> <td>% Commercial</td> </tr> <tr> <td></td> <td>% Industrial</td> </tr> <tr> <td></td> <td>% Other use (Specify) _____</td> </tr> </table> <p>3.) Pretreatment required:</p> <p><input checked="" type="radio"/> No</p> <p><input type="radio"/> Yes (Specify or attach effluent documentation)</p> <p>_____</p>		100	% Domestic		% Commercial		% Industrial		% Other use (Specify) _____
<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)																																				
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution																																				
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental																																				
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church																																				
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers																																				
<input type="checkbox"/>	Hotels or motels	<input checked="" type="checkbox"/>	Business, offices, factories																																				
<input type="checkbox"/>	Other (specify): _____																																						
100	% Domestic																																						
	% Commercial																																						
	% Industrial																																						
	% Other use (Specify) _____																																						

4.) Volume of wastewater flow to be allocated for this particular project: 1875 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

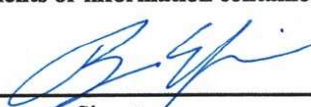
b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Business	25 gal/ employee	75	GPD 1875
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1875

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, Brian Edenfield, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

 Signature: _____ Date: 1/20/23

JACOBS CROSSING OFFICE SPACE – PROJECT NARRATIVE

This \$2.4M project located on Jacob's Crossing Blvd. will be on a portion of a 8.98 acre parcel inside the Settlers Landing development. The current zoning is C-2. The portion will be subdivided into three lots inside. Each lot will have a 1 story high, 8,000 square foot building with 5 separate units. The units will be general business space and potentially for medical use.

Nonresidential

Old Dominion Freight Line (ODFL) (CN-PSA-2023-00024)

2980 New Town Way

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
11/3/2022	Yes	60,000 sf. freight service center	No	No	No	No	Yes	No

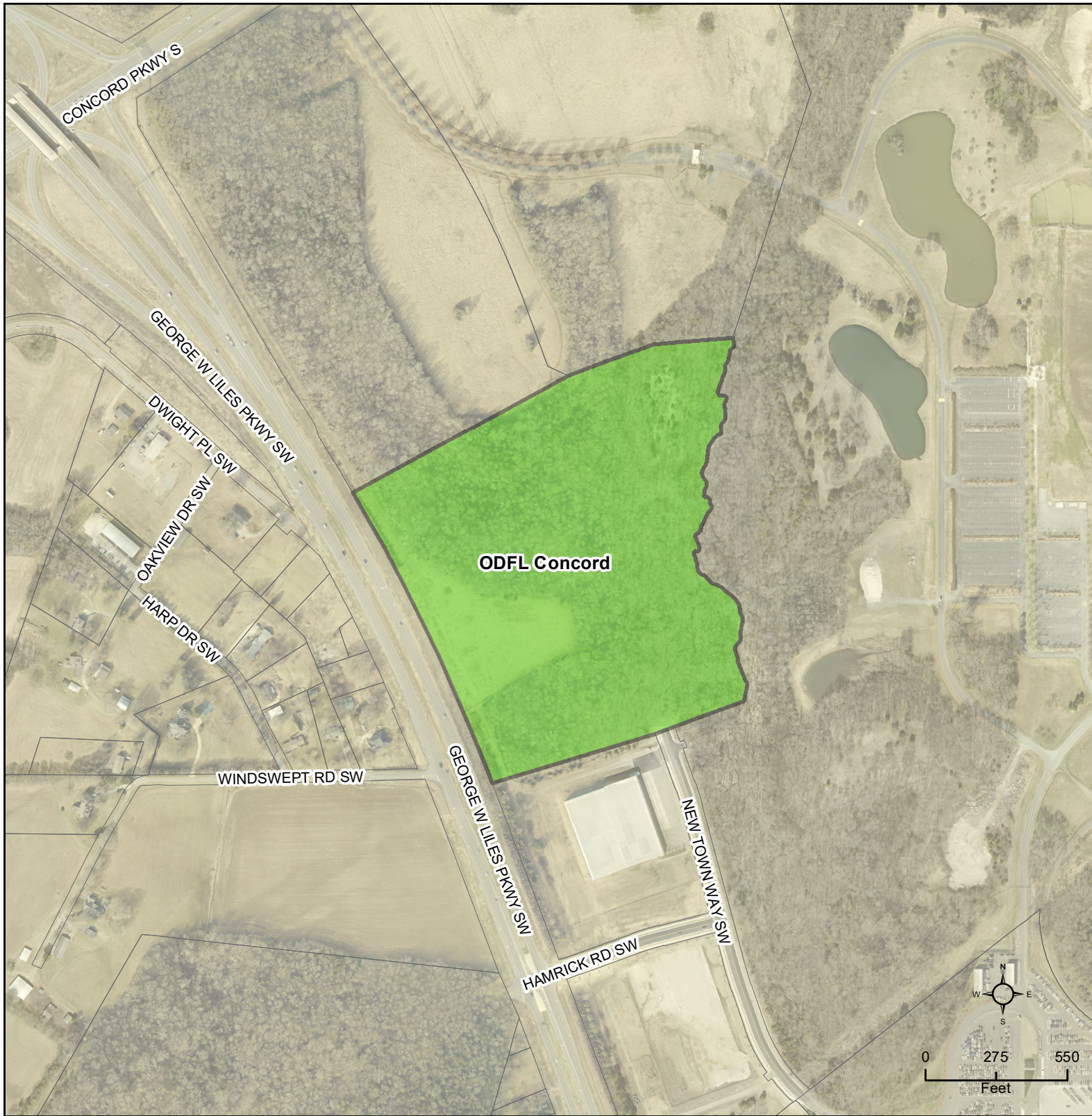
Allocation Request

Total	2023
1,000	1,000

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for a 60,000 sq. ft. freight service center located at 2980 New Town Way. The applicant is proposing a facility of 102 dock doors with trailer, tractor, and employees parking to support the facility. This parcel is zoned General Industrial (I-2). This use will require a Special Use Permit in order to operate in this zoning district.



CN-PSA-2023-00024






ODFL Concord

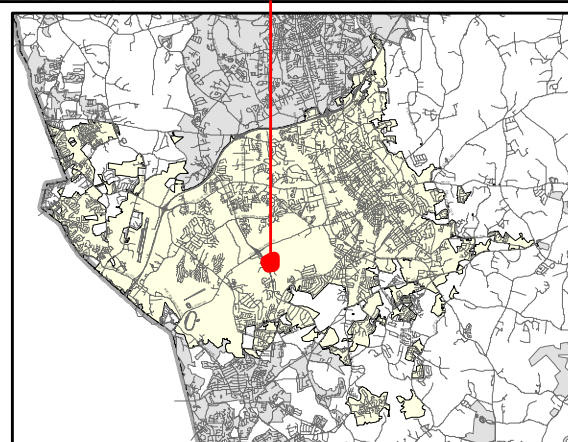
Type: Nonresidential

60,000 sf freight service center

Allocation Request: 2,500

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Old Dominion Freight Line Concord				
	2.)	Description of project location:	Northwest End of New Town Way SW, 730' Northwest of Intersection of Hamrick Road SW <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>				
	3.)	Cabarrus County Parcel Identification Number:	Portion of 5519-78-1062-0000	3a.)	Parcel Acreage:	+/-40 Acres	
	4.)	Site Zoning and use:	I-2 - Proposed Truck Freight Terminal	5.)	Area Commercial or Industrial Building (sq. ft.)	60,000 SF	
	6a.)	Description of Facility to be served:	ODFL Service Center	6b.) Number of Lots	1	6c.) Number of Units	1
	7d.)	Additional description information:	This project is for a proposed Old Dominion Freight Line Motor Freight Service Center				
	B. Applicant Information	Cecil Overbey		Senior VP		500 Old Dominion Way	
<small>(Name of legal owner, board, council, and/or authorized official with title, as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Title)</small>		<small>(Applicant's Street or Box Number)</small>			
Old Dominion Freight Line, Inc.				Thomasville, NC 27630			
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>				<small>(Applicant's City, State, Zip Code)</small>			
366-822-1651				NA			
<small>(Applicant's Phone Number)</small>				<small>(Applicant's Facsimile Number)</small>			
C. Design Engineer Information if available	Kyle M. Hoyt, P.E		Hoyt + Berenyi, LLC				
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>				
	046520		346 Seacoast Parkway, Suite 200				
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>				
	843-408-3546		Mount Pleasant, SC 29464				
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>				
Kyle M. Hoyt, Engineer		khoyt@hoytberenyi.com					
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>					

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input checked="" type="checkbox"/>	Other (specify): <u>Motor Freight Service Center</u>		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 1,000 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses, public access facilities located near high public use areas; as defined in G.S. 42A-4).


b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.
 (Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
General Business and Office	25 gal/ employee/shift	40**	GPD 1,000
**This facility will have (60) sixty truck drivers that are not on premises throughout the day. Therefore they have been excluded from the projection based on coordination with the City and DEQ.			GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1,000

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Cecil Overbey, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

 Signature: _____ Date: January 23, 2023

February 10, 2023

**RE: Project Narrative – ODFL Concord
+/-40 Acre Portion of 5519-78-1062-0000
12500 NW 107 Ave**

The Old Dominion Freight Line (ODFL) Concord project includes the construction of a new Interstate Motor Freight Terminal. ODFL is a Less Than Truckload (LTL) freight carrier specializing in (1) one & (2) two-day delivery markets. The operation can generally be described as picking up and delivering general commodities between the local community and all over the country.

The proposed ODFL Concord facility will include approximately 102 dock doors with trailer, tractor, and employee parking required to support the facility; and is to be constructed on an approximately 40-acre portion of Parcel #5519-78-1062-0000 located at the northern end of New Town Way SW. In order to help illustrate the project footprint and location, a Conceptual Site Plan and Site Exhibit are attached to this narrative.

The property is zoned I-2 and the proposed use, “Truck Terminal and Support Facilities”, is identified as a special use with supplemental regulations. Specifically, the project will be subject to the conditions outlined in section 8.3.7G of the Development Ordinance pertaining primarily to access and screening; which, the project will fully comply with. The project will also satisfy all other local, state, and federal regulations, including, but not limited to, stormwater quantity and quality control.

The proposed facility is a low impact use in regard to utility and infrastructure needs. The facility requires no industrial water use or industrial wastewater discharge. Sewer needs are limited to domestic and commercial discharges with no industrial pre-treatment being required. The proposed use is not specifically listed within 15A NCAC 2T.0114 and the facility will include a mixture of office workers and truck drivers. The truck drivers are not on premises during the day and have been excluded from the allocation projection based on coordination with the City and DEQ. The sewer projection is based on the (40) forty office and business employees which totals 1,000 GPD proposed for the facility. It is important to note there is a tremendous amount of empirical data that shows the facility will use much less than 1,000 GPD; but, in order to satisfy the requirements of the City and State the request is for 1,000 GPD.

Construction costs for the project will be approximately \$18M - \$19M with much of the work being performed by local contractors. The facility will create approximately 100 new jobs with likely over 90% being sourced locally from the Concord Metro Area; and many of those positions being high paid, full time salary positions with full benefits. Hourly employees are also well compensated with the average hourly wage being about \$25/hr - \$30/hr.

ODFL and their function of moving goods and commodities is a huge component needed to support local and interstate commerce. They deliver the items consumers need, and expect, to find at the local grocery, department, retail, home improvement, construction supply, or other types businesses that are involved in our everyday life. The proposed investment, jobs, and other residual benefits to the City of Concord Community are a tremendous value for the proposed capacity reservation of only 1,000 GPD.

Council’s consideration of this request is greatly appreciated; and, if there any questions regarding the details of the project, please do not hesitate to contact Kyle M. Hoyt, P.E. at 843-408-3546, or via email at khoyt@hoytberenyi.com.

Nonresidential

ICC CIPP 4601 Buildings 2 & 3 (CN-PSA-2023-00026)

4601 & 4651 Corporate DR. NW

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	No	80,000 sq. Light Manufacturing	No	No	No	No	No	No

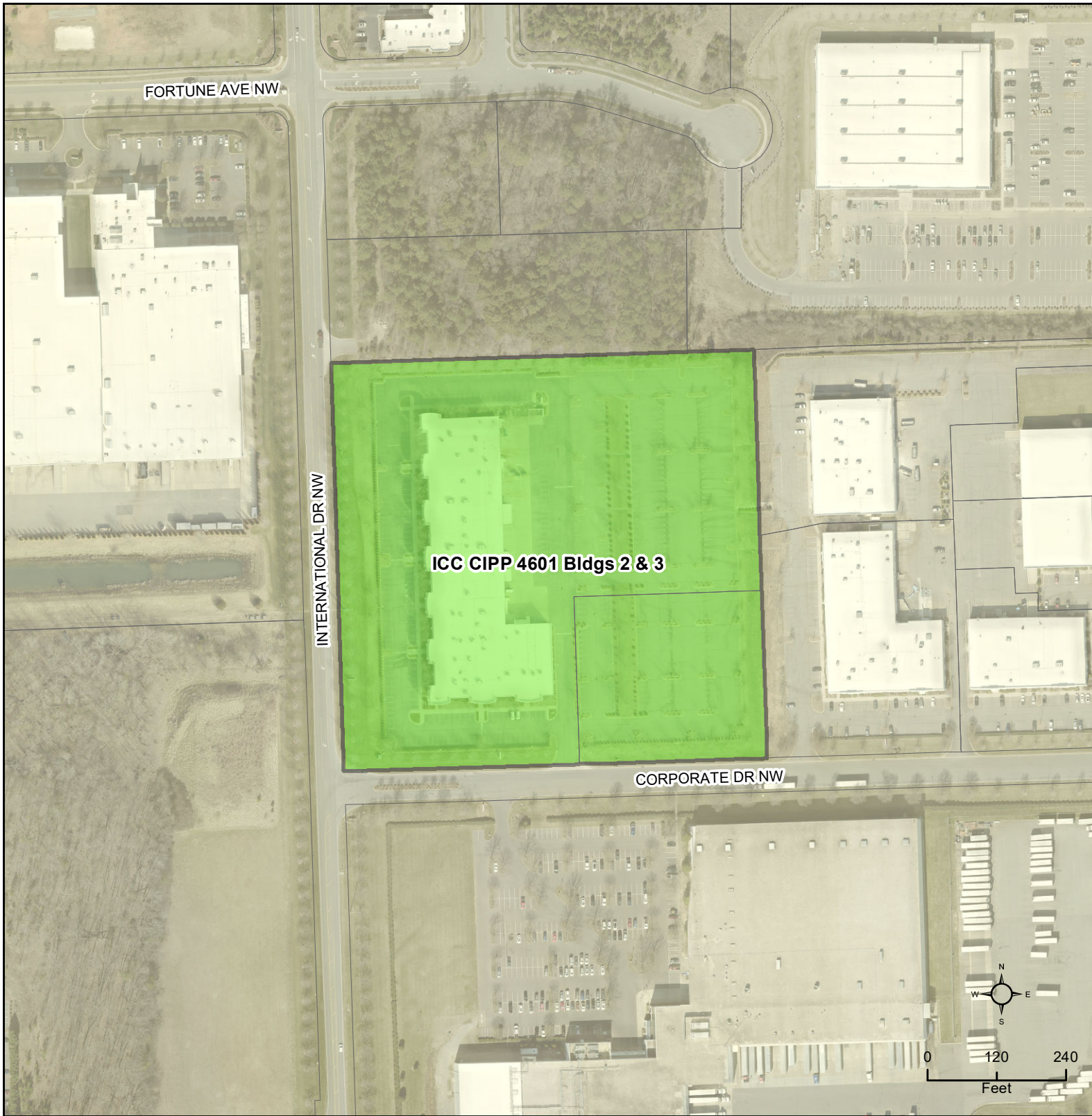
Allocation Request

Total	2023
8,190	8,190

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for an 80,000 sq. ft. building located at 4601 & 4651 Corporate Dr. NW. The applicant plans to have 25% of the building with office uses and the rest for light industrial. This parcel is zoned General Industrial (I-2). Light manufacturing is only permitted in I-1 so depending on the actual uses the applicant may need to rezone.



CN-PSA-2023-00026






ICC CIPP 4601 Bldgs 2 & 3

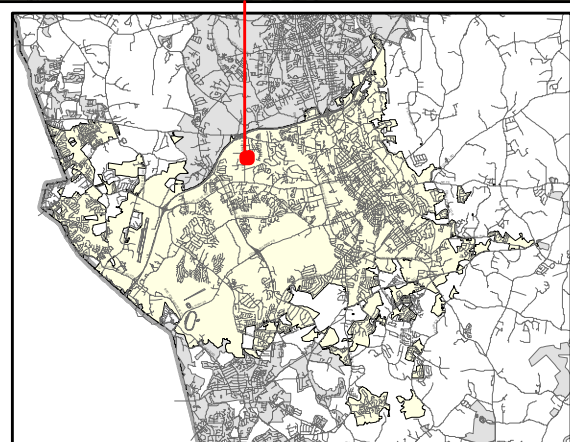
Type: Nonresidential

80,000 sf light manufacturing

Allocation Request: 8,190

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	ICC CIPP 4601 Bldgs 2 & 3			
	2.)	Description of project location:	4601 and 4651 Corporate Dr. NW, Concord, located in proximity of Corporate Dr NW & International Dr intersection <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>			
	3.)	Cabarrus County Parcel Identification Number:	3a.)	Parcel Acreage:	9.421 + 2.156 = 11.577 AC	
	4.)	Site Zoning and use:	5.)	Area Commercial or Industrial Building	(sq. ft.) 80,000	
	6a.)	Description of Facility to be served:	6b.)	Number of Lots	2	6c.)
	7d.)	Additional description information:	Area for bldg development of proposed bldgs 2 & 3 is currently a paved lot.			
	B. Applicant Information	<small>Robert Y. Strom, Chairman of the Board of CIP Real Estate LLC, its sole member CIP Charlotte Portfolio LLC (Owner)</small>		19762 MacArthur Blvd., Suite 300		
<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>				
CIP Charlotte Portfolio, LLC - City of Concord utility		Irvine, CA 92612				
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>				
949/202-4548		949/474-2101				
<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>				
<small>Maggie Kidd, Authorized Agent (Name)</small>		<small>mkidd@ciprealestate.com (Email)</small>	rystrom@ciprealestate.com			
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>				
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Thomas H Linn		Refresco			
	<small>(Typed name of North Carolina Professional Engineer)</small>		<small>(Company Name)</small>			
	030481		6908 Out of Bounds Drive			
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>			
	704-293-8011		Charlotte, NC 28210			
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>			
Thomas H Linn		thlinn@refresco-pllc.com				
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		<small>(Engineer's Email Address)</small>				



wgmdesign.com

January 23, 2023

Reference: Narrative for Preliminary Sewer Allocation Review

Project Name: ICC CIPP 4601 Bldgs 2 & 3

Project # CN-PSA-2023-00026

Narrative:

The proposed projects are the completion of a parcel to support local business and light manufacturing. The building will be constructed of concrete panels, glass entries and steel structure. The project is fully funded and ready to start in the spring. The speculative buildings will be divided into separate tenant spaces focused mostly on 25% office with the remaining warehouse serving small tooling, storage and light industry. This site lies within in a vibrant corridor supporting business, and this project will further embolden that purpose.

Nonresidential

Auto Parts Retail (CN-PSA-2023-00030)

3699 Concord Pkwy S.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
2/16/23	No	12,000 sf. auto parts store	No	No	No	No	No	No

Allocation Request

Total	2023
1,200	1,200

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for a 12,000 sq. ft. auto parts store. This parcel is zoned General Commercial (C-2).



CN-PSA-2023-00030






Auto Parts Retail

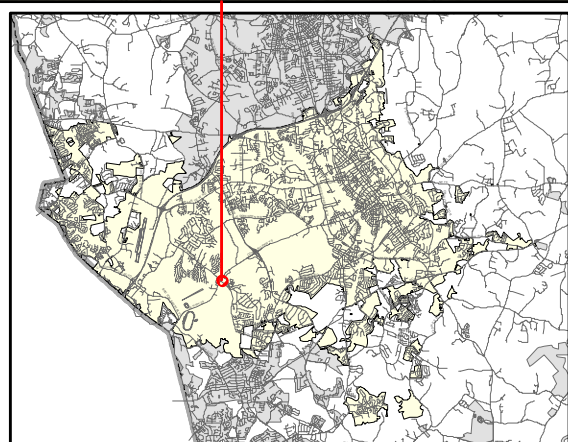
Type: Nonresidential

12,000 sf Auto parts store

Allocation Request: 1,200

Project Score: 0

-  Developments
-  Parcels
-  Rivers
-  Concord
-  Cabarrus County





January 23, 2023

Sherri V. Moore
City of Concord Engineering Coordinator
PO Box 308
Concord, NC 28028

**Re: Auto Parts Retailer – Concord, NC
3699 Concord Parkway South
Concord, NC 28027**

Dear Ms. Moore:

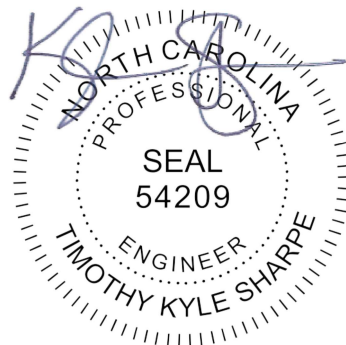
For the above referenced project, the proposed daily sewage flow calculations are being submitted for your review. It is my understanding that, by submitting this letter along with the project information below, you will notify us if any upgrades are necessary to the downstream system. The project information is as follows:

- Project Name: Retail – Concord, NC
- Location: 3699 Concord Parkway S, Concord, NC 28027 (PID 55093377060000)
- Property Zoning: C-2
- Contact Name & Engineering Firm: Chris Klentz/ Gaskins + LeCraw
- Contact Info: (direct) 678.257.1915 (email) cklentz@gaskinslecraw.com
- Project Description:
 - This project includes the demolition of the existing gas station and parking lot and the construction of a new auto parts retailer and it’s associated parking lot, utilities, and stormwater management
- Proposed Flow Calculations:

Stores and shopping centers w/o food service: 100 gallons/1,000 sf

Anticipated Daily Flow: **1,200 GPD** = [(100gal/1,000 sf) * 12,000 sf]

If there is anything else that you require to perform this analysis, please do not hesitate to contact me.



Sincerely,

Timothy Sharpe, PE

1/23/23



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Retail - Concord, NC			
	2.)	Description of project location:	E corner of Concord Parkway S and Pitts School Road SW			
	<small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small>					
	3.)	Cabarrus County Parcel Identification Number:	55093377060000	3a.)	Parcel Acreage:	1.34 ac
	4.)	Site Zoning and use:	C-2 Commercial	5.)	Area Commercial or Industrial Building	(sq. ft.) 12,000
	6a.)	Description of Facility to be served:	Auto Parts Retailer	6b.) Number of Lots	1	6c.) Number of Units
	7d.)	Additional description information:	Stand alone autoparts retailer			
B. Applicant Information	Chris Klentz		EIT		3475 Corporate Way, Suite A	
	<small>(Name of legal owner, board, council, and/or authorized official with title: as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>					
	Gaskins + LeCraw		Duluth, GA 30096			
	<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>					
	678.546.8100			n/a		
	<small>(Applicant's Phone Number)</small>					
	Chris Klentz (Name)			cklentz@gaskinslecrew.com		cklentz@gaskinslecrew.com
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>						
REQUIRED						
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.						
C. Design Engineer Information if available	Timothy Kyle Sharpe				Gaskins + LeCraw	
	<small>(Typed name of North Carolina Professional Engineer)</small>					
	54209			3475 Corporate Way Suite A		
	<small>(NCPE Registration Number)</small>					
	678.546.8100			Duluth, GA 30096		
	<small>(Phone Number)</small>					
	Chris Klentz				ksharpe@gaskinslecrew.com	
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>						
<small>(Engineer's Email Address)</small>						

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input checked="" type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

- No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 1,200 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
Stores and shopping centers w/o food service	100	gal/ 1,000sf	12,000 sf	GPD	1,200
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
			Total	GPD	1,200

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, Chris Klentz, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Chris Klentz

Digitally signed by Chris Klentz
 DN: cn=Chris Klentz, c=US,
 email=chris.klentz@lccraweng.com
 Date: 2023.01.23 15:35:00 -05'00'

Signature:

Date:

(e) The Director may determine that a disposal system shall not be deemed to be permitted in accordance with this Rule or other Permitted By Regulation rules in this Subchapter and require the disposal system to obtain an individual permit or a certificate of coverage under a general permit. This determination shall be made based on existing or projected environmental impacts, compliance with the provisions of this Rule or other Permitted By Regulation rules in this Subchapter, and the compliance history of the facility owner.

History Note: Authority G.S. 130A-300; 143-215.1(a)(1); 143-215.1(b)(4)(e); 143-215.3(a); Eff. September 1, 2006; Amended Eff. March 19, 2015; June 18, 2011; Readopted Eff. September 1, 2018.

15A NCAC 02T .0114 WASTEWATER DESIGN FLOW RATES

(a) This Rule shall be used to determine wastewater flow rates for all systems governed by this Subchapter unless alternate criteria are provided by a program-specific rule or for flow used for the purposes of 15A NCAC 02H .0105. Higher flow rates shall be required where usage and occupancy are atypical, including those in Paragraph (e) of this Rule. Wastewater flow calculations shall take hours of operation and anticipated maximum occupancies and usage into account when calculating peak flows for design.

(b) In determining the volume of sewage from dwelling units, the flow rate shall be 120 gallons per day per bedroom. The minimum volume of sewage from each dwelling unit shall be 240 gallons per day and each additional bedroom above two bedrooms shall increase the volume by 120 gallons per day. Each bedroom or any other room or addition that can function as a bedroom shall be considered a bedroom for design purposes. When the occupancy of a dwelling unit exceeds two persons per bedroom, the volume of sewage shall be determined by the maximum occupancy at a rate of 60 gallons per person per day.

(c) The following table shall be used to determine the minimum allowable design daily flow of wastewater facilities. Design flow rates for establishments not identified below shall be determined using available flow data, water-using fixtures, occupancy or operation patterns, and other measured data.

Type of Establishments	Daily Flow For Design
Barber and beauty shops	
Barber Shops	50 gal/chair
Beauty Shops	125 gal/booth or bowl
Businesses, offices and factories	
General business and office facilities	25 gal/employee/shift
Factories, excluding industrial waste	25 gal/employee/shift
Factories or businesses with showers or food preparation	35 gal/employee/shift
Warehouse	100 gal/loading bay
Warehouse – self storage (not including caretaker residence)	1 gal/unit
Churches	
Churches without kitchens, day care or camps	3 gal/seat
Churches with kitchen	5 gal/seat
Churches providing day care or camps	25 gal/person (child & employee)
Fire, rescue and emergency response facilities	
Fire or rescue stations without on site staff	25 gal/person
Fire or rescue stations with on-site staff	50 gal/person/shift
Food and drink facilities	
Banquet, dining hall	30 gal/seat
Bars, cocktail lounges	20 gal/seat
Caterers	50 gal/100 sq ft floor space
Restaurant, full Service	40 gal/seat
Restaurant, single service articles	20 gal/seat
Restaurant, drive-in	50 gal/car space
Restaurant, carry out only	50 gal/100 sq ft floor space
Institutions, dining halls	5 gal/meal
Deli	40 gal/100 sq ft floor space
Bakery	10 gal/100 sq ft floor space
Meat department, butcher shop or fish market	75 gal/100 sq ft floor space

Specialty food stand or kiosk	50 gal/100 sq ft floor space
Hotels and Motels	
Hotels, motels and bed & breakfast facilities, without in-room cooking facilities	120 gal/room
Hotels and motels, with in-room cooking facilities	175 gal/room
Resort hotels	200 gal/room
Cottages, cabins	200 gal/unit
Self service laundry facilities	500 gal/machine
Medical, dental, veterinary facilities	
Medical or dental offices	250 gal/practitioner/shift
Veterinary offices (not including boarding)	250 gal/practitioner/shift
Veterinary hospitals, kennels, animal boarding facilities	20 gal/pen, cage, kennel or stall
Hospitals, medical	300 gal/bed
Hospitals, mental	150 gal/bed
Convalescent, nursing, rest homes without laundry facilities	60 gal/bed
Convalescent, nursing, rest homes with laundry facilities	120 gal/bed
Residential care facilities	60 gal/person
Parks, recreation, camp grounds, R-V parks and other outdoor activity facilities	
Campgrounds with comfort station, without water or sewer hookups	75 gal/campsite
Campgrounds with water and sewer hookups	100 gal/campsite
Campground dump station facility	50 gal/space
Construction, hunting or work camps with flush toilets	60 gal/person
Construction, hunting or work camps with chemical or portable toilets	40 gal/person
Parks with restroom facilities	250 gal/plumbing fixture
Summer camps without food preparation or laundry facilities	30 gal/person
Summer camps with food preparation and laundry facilities	60 gal/person
Swimming pools, bathhouses and spas	10 gal/person
Public access restrooms	325 gal/plumbing fixture
Schools, preschools and day care	
Day care and preschool facilities	25 gal/person (child & employee)
Schools with cafeteria, gym and showers	15 gal/student
Schools with cafeteria	12 gal/student
Schools without cafeteria, gym or showers	10 gal/student
Boarding schools	60 gal/person (student & employee)
Service stations, car wash facilities	
Service stations, gas stations	250 gal/plumbing fixture
Car wash facilities	1200 gal/bay
Sports centers	
Bowling center	50 gal/lane
Fitness, exercise, karate or dance center	50 gal/100 sq ft
Tennis, racquet ball	50 gal/court
Gymnasium	50 gal/100 sq ft
Golf course with only minimal food service	250 gal/plumbing fixture
Country clubs	60 gal/member or patron
Mini golf, putt-putt	250 gal/plumbing fixture
Go-kart, motocross	250 gal/plumbing fixture
Batting cages, driving ranges	250 gal/plumbing fixture
Marinas without bathhouse	10 gal/slip
Marinas with bathhouse	30 gal/slip
Video game arcades, pool halls	250 gal/plumbing fixture
Stadiums, auditoriums, theaters, community centers	5 gal/seat
Stores, shopping centers, malls and flea markets	
Auto, boat, recreational vehicle dealerships/showrooms with restrooms	125 gal/plumbing fixture

Convenience stores, with food preparation	60 gal/100 sq ft
Convenience stores, without food preparation	250 gal/plumbing fixture
Flea markets	30 gal/stall
Shopping centers and malls with food service	130 gal/1000 sq ft
Stores and shopping centers without food service	100 gal/1000 sq ft
Transportation terminals – air, bus, train, ferry, port and dock	5 gal/passenger

(d) Design daily flow rates for proposed non-residential developments where the types of use and occupancy are not known shall be designed for a minimum of 880 gallons per acre, or the applicant shall specify an anticipated flow based upon anticipated or potential uses.

(e) Design daily flow rates for residential property on barrier islands and similar communities located south or east of the Atlantic Intracoastal Waterway and used as vacation rental as defined in G.S. 42A-4 shall be 120 gallons per day per habitable room. Habitable room shall mean a room or enclosed floor space used or intended to be used for living or sleeping, excluding kitchens and dining areas, bathrooms, shower rooms, water closet compartments, laundries, pantries, foyers, connecting corridors, closets, and storage spaces.

(f) An adjusted daily sewage flow design rate shall be granted for permitted but not yet tributary connections and future connections tributary to the system upon showing that the capacity of a sewage system is adequate to meet actual daily wastewater flows from a facility included in Paragraph (b) or (c) of this Rule without causing flow violations at the receiving wastewater treatment plant or capacity-related sanitary sewer overflows within the collection system as follows:

- (1) Documented, representative data from that facility or a comparable facility shall be submitted by an authorized signing official in accordance with Rule .0106 of this Section to the Division for all flow reduction requests, as follows:
 - (A) dates of flow meter calibrations during the time frame evaluated and indication if any adjustments were necessary;
 - (B) a breakdown of the type of connections (e.g. two bedroom units, three bedroom units) and number of customers for each month of submitted data as applicable. Identification of any non-residential connections including subdivision clubhouses and pools, restaurants, schools, churches and businesses. For each non-residential connection, information identified in Paragraph (c) of this Rule (e.g. 200 seat church, 40 seat restaurant, 35 person pool bathhouse);
 - (C) a letter of agreement from the owner or an official, meeting the criteria of Rule .0106 of this Section, of the receiving collection system or treatment works accepting the wastewater and agreeing with the adjusted design rate;
 - (D) age of the collection system;
 - (E) analysis of inflow and infiltration within the collection system or receiving treatment plant, as applicable;
 - (F) if a dedicated wastewater treatment plant serves the specific area and is representative of the residential wastewater usage, at least the 12 most recent consecutive monthly average wastewater flow readings and the daily total wastewater flow readings for the highest average wastewater flow month per customers, as reported to the Division;
 - (G) if daily data from a wastewater treatment plant cannot be used or is not representative of the project area: 12 months worth of monthly average wastewater flows from the receiving treatment plant shall be evaluated to determine the peak sewage month. Daily wastewater flows shall then be taken from a flow meter installed at the most downstream point of the collection area for the peak month selected that is representative of the project area. Justification for the selected placement of the flow meter shall also be provided; and
 - (H) an estimated design daily sewage flow rate shall be determined by calculating the numerical average of the top three daily readings for the highest average flow month. The calculations shall also account for seasonal variations, excessive inflow and infiltration, age and suspected meter reading and recording errors.
- (2) The Division shall evaluate all data submitted but shall also consider other factors in granting, with or without adjustment, or denying a flow reduction request including: applicable weather conditions during the data period (i.e. rainy or drought), other historical monitoring data for the particular facility or other similar facilities available to the Division, the general accuracy of

Mixed Use

Climbing Rose Courtyards (CN-PSA-2023-00025)

109 Cabarrus Ave. E.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	2 and 10,848 sf commercial	No	No	No	No	No	No

Allocation Request

Total	2023
765	765

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	2	1	1	0	1	0	7

Brief Summary

The applicant is proposing a mixed-use development located on parcels 5620-99-7086 and 5620-99-6195. These parcels equal 0.5 ac and are currently zoned Center City (CC). The proposal has 10,848 sf of mixed-use commercial building that includes 3 retail/business spaces. They are also proposing 5 three bedroom apartments. This falls inside the Center City Plan.



CN-PSA-2023-00025

Climbing Rose Courtyards Mixed Use

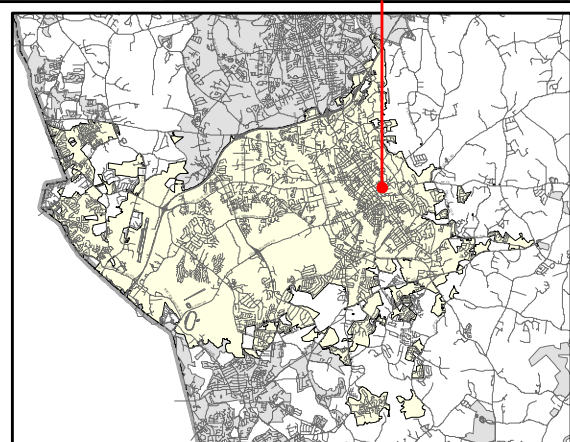
Type: Mixed Use

10,848sf of commercial office and retail with 2 apartments

Allocation Request: 765

Project Score: 6

- Developments
- Parcels
- Rivers
- Concord
- Cabarrus County





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Climbing Rose Courtyards				
	2.)	Description of project location:	109 Cabarrus Ave E				
			<small>(Example: Site located on (Road name) SR #####, approx ##### linear feet (North, South, West or East) of the intersection of Road name (SR #####) and Road Name (SR #####)</small>				
	3.)	Cabarrus County Parcel Identification Number:	56209970860000 & 56209961950000	3a.)	Parcel Acreage:	.5	
	4.)	Site Zoning and use:	CC	5.)	Area Commercial or Industrial Building	(sq. ft.) 10,848	
	6a.)	Description of Facility to be served.	Mixed-use Residential/Commercial/Office	6b.) Number of Lots	2	6c.) Number of Units	8
	7d.)	Additional description information:					

B. Applicant Information	Koto Properties LLC	<small>(Title)</small>	65 Corban Ave SE STE 12
	<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>		<small>(Applicant's Street or Box Number)</small>
	Koto Properties LLC		Concord, NC 28025
	<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>		<small>(Applicant's City, State, Zip Code)</small>
	770-855-9649		
	<small>(Applicant's Phone Number)</small>		<small>(Applicant's Facsimile Number)</small>
	John Eckstein <small>(Name)</small>	jeckste@gmail.com <small>(Email)</small>	
<small>(Name with Title and Email of contact person, who can answer questions about application)</small>		<small>(Applicant's Email Address)</small>	

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available	Virginia Moore	<small>(Typed name of North Carolina Professional Engineer)</small>	Carlos J Moore Architect, P.A.
			<small>(Company Name)</small>
	<small>(NCPE Registration Number)</small>		<small>(Street or Box Number)</small>
	704-788-8333		Concord, NC 28025
	<small>(Phone Number)</small>		<small>(City, State, Zip Code)</small>
	<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>		vmoore@cmoorearch.com

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input checked="" type="checkbox"/>	Retail (Stores, shopping centers)
<input checked="" type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input checked="" type="checkbox"/>	Business, offices, factories
<input type="checkbox"/>	Other (specify): _____		

2.) The type of wastewater is (indicate percentage):

80.8%	% Domestic
19.2%	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 1,484.8 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.


[Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.]

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Retail/Business Stores	100 gal/ day/1000 sf	3	GPD 284.8
3 Bedroom Apartments	240 gal/ day	5	GPD 1200
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1484.8

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, John Eckstein, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.


Signature:

1/23/2023
Date:

Climbing Rose
Concord



City of Concord
City Council
Concord, NC 28025

Reference: Climbing Rose Courtyards Mixed-use Development

Dear City Council Members,

Koto Properties LLC and Carlos J Moore Architect, P.A. are pleased to present the Preliminary Wastewater Flow application (PWWF) for the mixed-use development located at 109 Cabarrus Ave E, North Carolina 28025. Please see the attached site plan and renderings included in this application.

The Climbing Rose Courtyards Mixed-use Development is a 10,848 sq. ft. mixed-use commercial building located on parcels 56209970860000 & 56209961950000. The site is .5 acres and is currently zoned CC. The first floor of the building facing Cabarrus Ave will feature a commercial office and retail space and the second floor will consist of an apartment. The buildings in between Cabarrus Ave and Brumley Ave will feature two-story apartments with attached courtyards. The first floor of the building facing Brumley Ave will feature commercial office and retail space and the second floor will consist of an apartment. Please see **Table 1.a** for calculations of anticipated wastewater flows.

Table 1.a

Description	Quantity	Flow	Total (GPD)
Retail/Business Stores	3	100 GPD/1000 sf	284.8
3 Bedroom Apartments	5	240 GPD	1,200
		Total	1,484.8

This development will bring much-needed commercial space to the downtown area of Concord, North Carolina, and affordable housing with expected rental rates averaging \$1,900/month. The desirable location of this building will provide residents with short, walking access to the Harold B. McEachern Greenway Trailhead located near the building on McCachern Blvd SE and the JW (Mickey) McGee Park located on Corban Ave SE. The commercial units will provide the growing downtown residential population and surrounding neighborhoods with walking access to the future businesses.

Climbing Rose
Concord



Conceptual Rendering

Included below is a conceptual rendering for the planned general aesthetics of the buildings.



Climbing Rose
Concord



Included below is the general aesthetics of the private courtyards that are attached to each apartment.



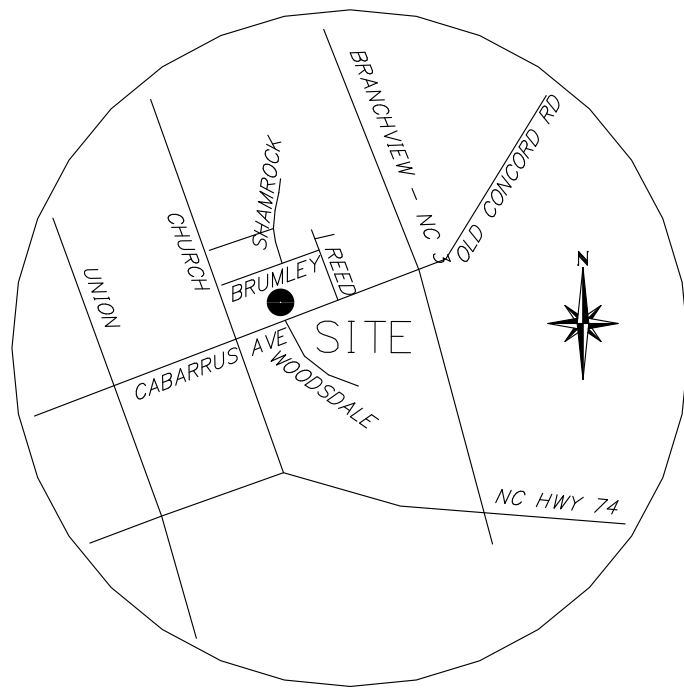
Climbing Rose
Concord



Thank you for your consideration of our Preliminary Wastewater Flow application. We look forward to continuing to work with the City of Concord to provide a great contribution to the Concord downtown area.

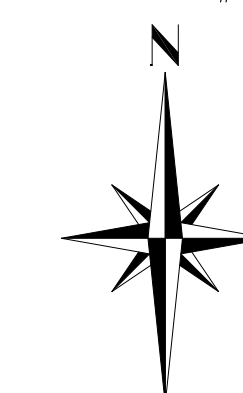
Sincerely,

John Eckstein
Manager
Koto Properties LLC
jeckste@gmail.com

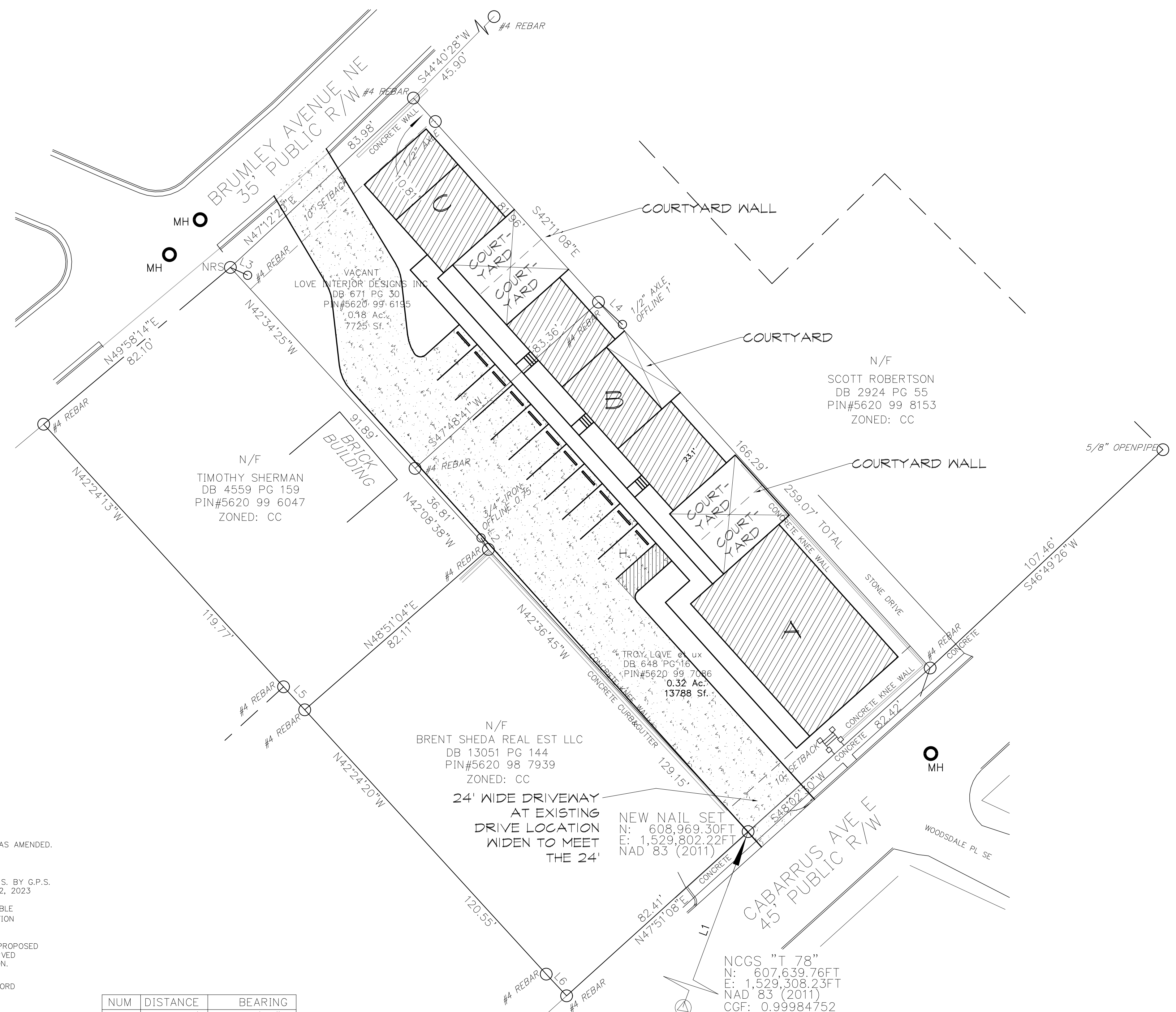


VICINITY MAP: NTS

N.C. GRID NORTH
GPS OBSERVED
SEE NOTE #3



NOTICE:
ALL FEDERAL, STATE, LOCAL, CODES, ORDINANCES AND REGULATIONS SHALL BE CONSIDERED AS PART OF PLANS AND SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED HERE. VARIANCES OCCUR.
THESE DRAWINGS ARE DIAGNOSTIC, NOT INDICATING ALL CONDITIONS AND DETAILS, AND ARE INTENDED TO BE USED BY EXPERIENCED PROFESSIONALS. EACH DRAWING IS CONSIDERED INDIVIDUALLY TO THE OTHERS. ALL CONDITIONS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTORS PRIOR TO INSTALLATION. WORK PERFORMED NOT IN COMPLIANCE WITH THE INTENT OF THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE PERSONS PERFORMING THE WORK. LIMIT OF LIABILITY IS THE AMOUNT OF FEE CHARGED.
THIS DRAWING IS THE INFORMATIONAL DESIGN IS THE PROPERTY OF CARLOS MOORE ARCHITECT. ANY REPRODUCTION, ALTERATION OR USE FOR OTHER THAN THE INTENDED PROJECT WITHOUT THE WRITTEN CONSENT OF CARLOS MOORE ARCHITECT IS STRICTLY PROHIBITED.
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SITE DATA

PIN 5620-99-7086 - .32 AC
PIN 5620-99-6195 - .18 AC

ZONED CC
FRONT SETBACK - 10'-0"
75' MAX HEIGHT

USE - MIXED USE

IMPERVIOUS SURFACE EXISTING: 9,356.11 SF

IMPERVIOUS SURFACE BEING REMOVED: 9,356.11 SF
IMPERVIOUS SURFACE BEING ADDED:
BUILDING A FOOTPRINT = 2,400 SF
BUILDING B FOOTPRINT = 1,904 SF
BUILDING C FOOTPRINT = 1,120 SF
DRIVES AND WALKS = 8,596.5 SF
TOTAL IMPERVIOUS SURFACE = 14,020.5 SF

NET PROPOSED IMPERVIOUS SURFACE= 4,664.4

ALL BUILDINGS ARE 2 STORY
BUILDING A TOTAL SF = 4,800 SF
BUILDING B TOTAL SF = 3,808 SF
BUILDING C TOTAL SF = 2,240 SF

GENERAL SURVEY NOTES:

- THIS PLAT IS NOT FOR RECORDATION PER NCGS 47-30 AS AMENDED.
- ALL CORNERS MONUMENTED AS SHOWN.
- NC GRID ORIENTATION ESTABLISHED BY THE NCGS C.O.R.S. BY G.P.S. OBSERVATION USING SP, EPOCH 80 GNSS SYSTEM, JAN. 2, 2023
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- AT THE TIME OF THIS SURVEY THERE WERE NO KNOWN PROPOSED CHANGES IN THE STREET RIGHT OF WAY LINES OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION.
- BOUNDARY PREDICATED BY MONUMENTS FOUND AND RECORD INFORMATION AS SHOWN.
- AREAS DETERMINED BY THE COGO CALCULATION METHOD.
- THIS PROPERTY HAS DIRECT UNOBSTRUCTED ACCESS TO BRUMLEY AVE. NE, AND CABARRUS AVE E.

THIS IS TO CERTIFY THAT SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, F.I.R.MAP: 370156200K / EFFECTIVE DATED: NOVEMBER 16, 2018.

NUM	DISTANCE	BEARING
L1	1417.87'	N20°23'02"E
L2	4.59'	S32°38'37"E
L3	6.37'	N65°32'49"W
L4	10.90'	N46°37'13"W
L5	10.54'	N42°39'01"W
L6	10.03'	N43°12'05"W

SITE CONCEPT PLAN
SCALE 1"=20'-0"

BOUNDARY SURVEY OF
109 CABARRUS AVE EAST
DB 648 PG 16 * PIN# 5620 99 7086
OWNED BY: TROY & BARBARA LOVE

TRACT ON BRUMLEY AVE NE
DB 671 PG 30 * PIN# 5620 99 6195
OWNED BY: LOVE INTERIOR DESIGN INC.

SURVEYED FOR: KOTO PROPERTIES, LLC
CONCORD NC

DRAWING SCALE: 1" = 20'

DATE: JANUARY 2023
CITY: CONCORD
COUNTY: CABARRUS
STATE: NORTH CAROLINA
DRAWN BY: SDG
COMP BY: JTW
REVISION #

JDB# 230103

HARRISBURG SURVEYING
DEUT. V: 27-17/PROV. V: 22-28
115 Plaza Dr Harrisburg, N.C.
(704)-455-9553 PHONE
http://www.harrisburgsurveying.com

PROJECT TITLE: MIXED USE DEVELOPMENT
CLIMBING ROSE COURTYARDS
109 CABARRUS AVE E, CONCORD, NC

SHEET TITLE: SITE CONCEPT PLAN

TODAY'S DATE: XXXXXXXX
SCHEMATIC DESIGN APPR: XXXX
ORIGINAL SEAL DATE: XXXX

REVISIONS:

DRAWING NUMBER: XXXXXXXXXX
DRAWN BY: VLM
PROJECT MGR: XXX
CHECKED BY: V. MOORE

SHEET
SP = 1

TOTAL # OF SHEETS: X

Public

Marvin Caldwell Park (CN-PSA-2023-00023)

362 Georgia St. SW.

DRC	Entitled	Units	PRS Routed	Considered 3/22	Considered 7/19	Considered 9/20	Considered 12/20	Technically Approved
	Yes	Splash pad, athletic fields, community shelter, restrooms, etc.	No	No	No	No	No	No

Allocation Request

Total	2023
3,000	3,000

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The City of Concord Park Department is requesting sewer allocation for the redevelopment and expansion of Marvin Caldwell Park. These improvements include athletic fields, amphitheater, community shelter, playgrounds, splash pad, restrooms, and many more.



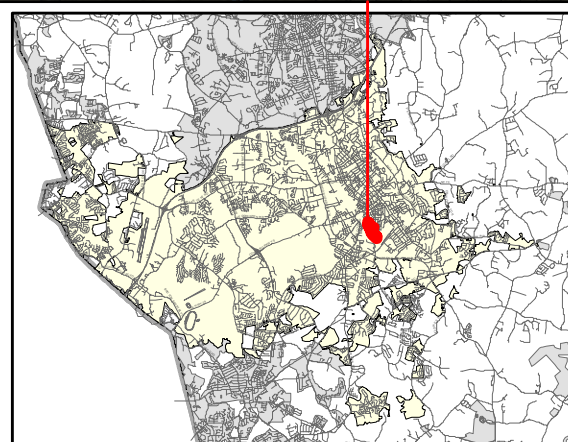
CN-PSA-2023-00023
Marvin Caldwell Park

Type: Public

Splash Pad and 2 restroom facilities

Allocation Request: 5,000

Project Score: 0





PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information	1.)	Project Title:	Marvin Caldwell Park						
	2.)	Description of project location:	362 Georgia St. SW - Existing Public Park Redesign						
	3.)	Cabarrus County Parcel Identification Number:	5620821226, 5620811524	3a.)	Parcel Acreage:	+/- 28.23 AC			
	4.)	Site Zoning and use:	RC	5.)	Area Commercial or Industrial Building	(sq. ft.)	N/A		
	6a.)	Description of Facility to be served.	PUBLIC PARK	6b.)	Number of Lots	N/A	6c.)	Number of Units	N/A
	7d.)	Additional description information:	(2) RESTROOM FACILITIES						
	B. Applicant Information	George A. Berger		Senior Planner		147 Academy Ave NW			
<small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small>				<small>(Applicant's Street or Box Number)</small>					
City of Concord				Concord, NC 28025					
<small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small>				<small>(Applicant's City, State, Zip Code)</small>					
704-920-5641				704-920-5641					
<small>(Applicant's Phone Number)</small>				<small>(Applicant's Facsimile Number)</small>					
C. Design Engineer Information if available	Lester A. Barnes				Alfred Benesch & Company				
	<small>(Typed name of North Carolina Professional Engineer)</small>				<small>(Company Name)</small>				
	040973				2359 Perimeter Pointe Parkway, Suite 350				
	<small>(NCPE Registration Number)</small>				<small>(Street or Box Number)</small>				
	704-521-9880				Charlotte, NC 28208				
	<small>(Phone Number)</small>				<small>(City, State, Zip Code)</small>				
Lester A. Barnes - Project Engineer				lbarnes@benesch.com					
<small>(Name and affiliation of contact person, who can answer questions about application & designs)</small>				<small>(Engineer's Email Address)</small>					

REQUIRED
 Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

<input type="checkbox"/>	Residential Subdivision	<input type="checkbox"/>	Retail (Stores, shopping centers)
<input type="checkbox"/>	Apartments/Condominiums	<input type="checkbox"/>	Institution
<input type="checkbox"/>	Mobile Home Park	<input type="checkbox"/>	Hospital, nursing home, dental
<input type="checkbox"/>	School, preschool, daycare	<input type="checkbox"/>	Church
<input type="checkbox"/>	Restaurants (Food or drink facilities)	<input type="checkbox"/>	Sports Centers
<input type="checkbox"/>	Hotels or motels	<input type="checkbox"/>	Business, offices, factories
<input checked="" type="checkbox"/>	Other (specify): <u>Public Park and associated amenities</u>		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow **to be allocated** for this particular project: 3,000 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses, public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.


{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
	gal/			GPD	
Proposed Restroom / Changing Facilities	250	gal/ fixture	12 fixtures	GPD	3,000
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
		gal/		GPD	
			Total	GPD	3,000

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, George A. Berger, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: 

Date: 1/23/2023

**Sanitary Sewer Allocation Narrative – Caldwell Park
Benesch Project #: 17000505.00**

January 23, 2023

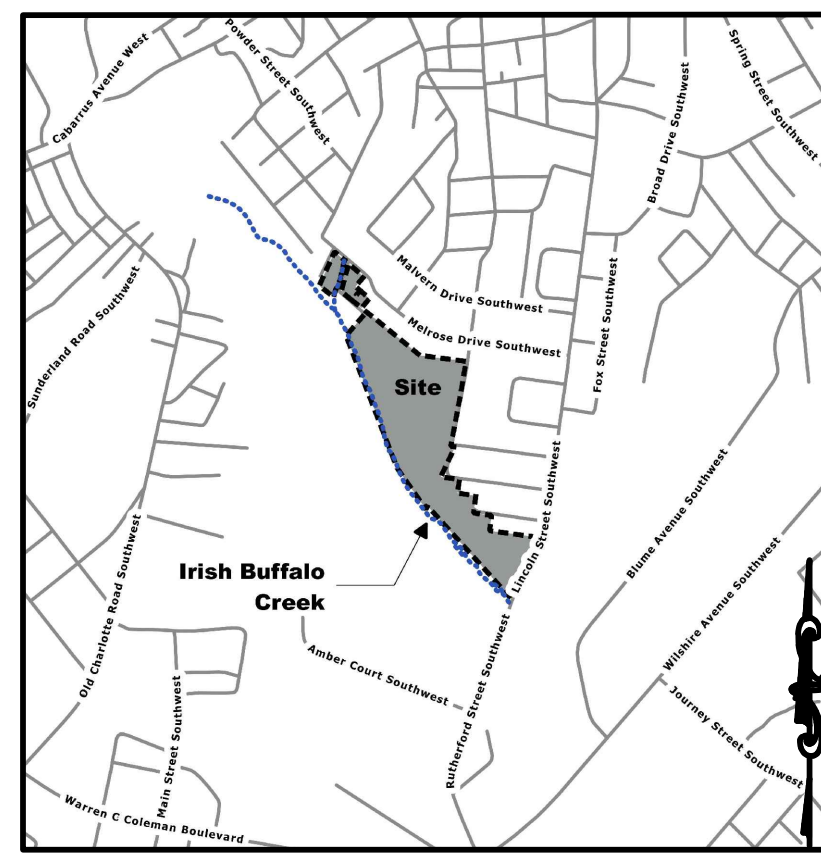
This sewer allocation application is to support a redevelopment and expansion project at Marvin Caldwell Park in the City of Concord. The total site area is approximately 28.23 acres, which is a combination of the existing park property and newly acquired parcels. The properties are zoned RC, which allows (re)development of this type. The park site is surrounded on three sides by single- and multi-family residential neighborhoods. Irish Buffalo Creek forms the fourth side (western edge) of the park. Several pedestrian connections to the greenway are proposed.

Proposed improvements and amenities for the park are based on a master plan accepted by the City Council and are summarized below:

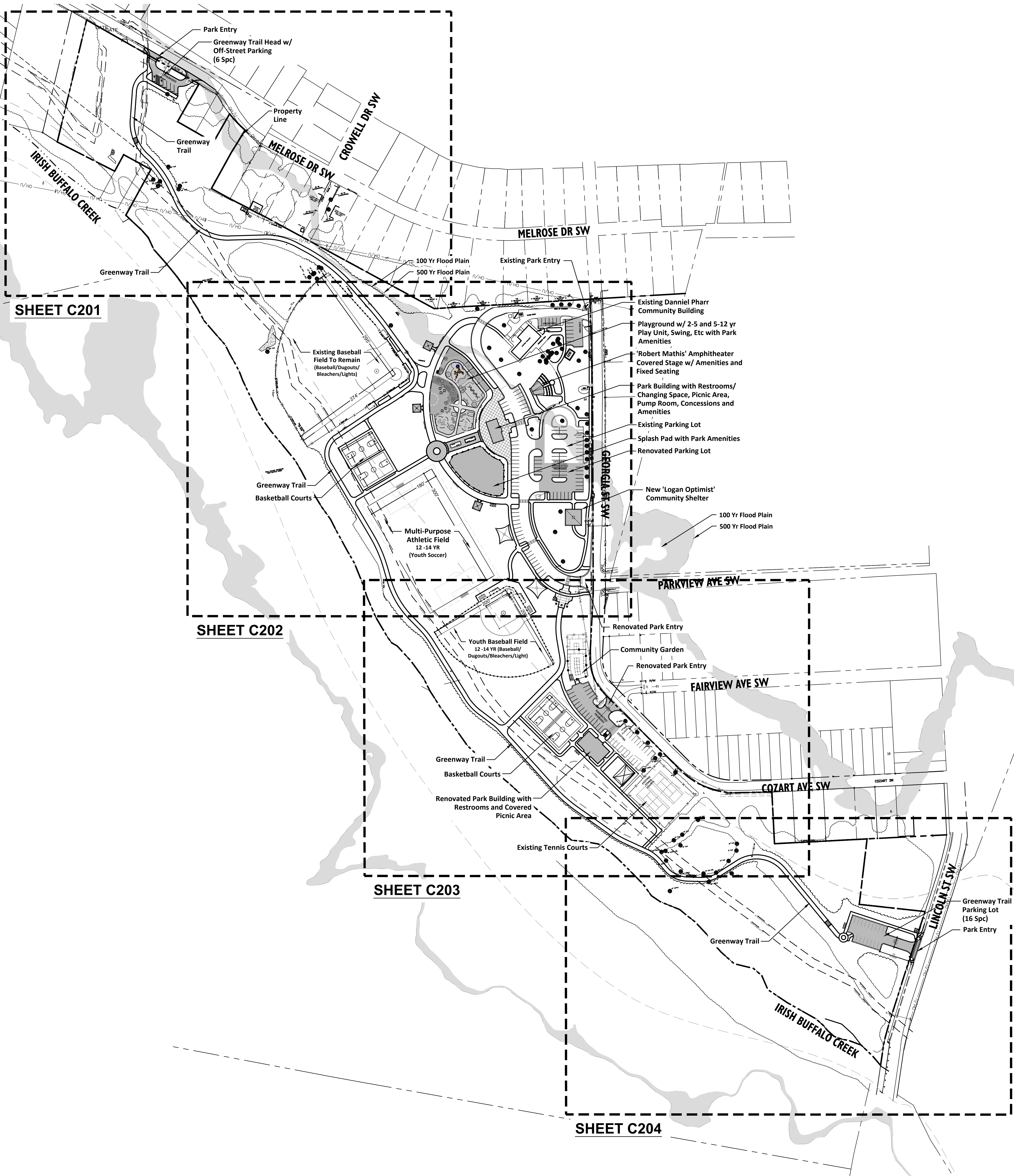
- Multi-Purpose Athletic Fields
- Youth Baseball Fields
- Amphitheater Stage
- Community Shelter
- Inclusive Playgrounds
- Splash Pad (listed as top priority during community engagement workshop)
- Stormwater Amenities
- Walking Paths
- Restrooms / Picnic Shelters
- Improved Pedestrian / Vehicular Circulation
- Expanded Vehicular Parking
- Covered Basketball Court Spaces
- Entrance Monumentation
- Landscaping

Stormwater management will be accomplished by a combination of aboveground and below ground conveyances – utilizing low impact development practices to the extent practical. Post-construction stormwater control measures will be implemented as necessary to comply with local and state detention / water quality ordinances.

New water services are proposed to serve restroom facilities, drinking fountains, supply for splash pad circulation, and athletic field irrigation. Proposed gravity sanitary sewer services will be discharged into an existing public main running through the site, which is owned by the Water and Sewer Authority of Cabarrus County (WSACC). The estimated sewer flow demand associated with this project is approximately 5,000 gallons per day (gpd).



VICINITY MAP - N.T.S.



LEGEND

- EXISTING SIGN
- PROPOSED SIGN
- EXISTING IRON PIN
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- RIGHT-OF-WAY
- ACCESSIBLE SPACE
- EXISTING TREE TO REMAIN
- EXISTING FIRE HYDRANT
- # OF PARKING SPACES
- CENTERLINE
- ACCESSIBLE RAMP
- PROPOSED BOLLARD
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED FLUSH CURB AND GUTTER
- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING ASPHALT PAVEMENT
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT

Consultants:

Seals:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Caldwell Park
 City of Concord, North Carolina
 362 Georgia St SW
 Concord, North Carolina 28025

**Design Development
Phase**

Project No:	17000290.01 17000499.00 17000505.00
Date:	06.21.22
Revisions:	
DRK Comments/ Exhibit/Transportation/ ROW Coordination	11.01.22
Owner's Comments/ Carolina Thread Trail Coordination	01.10.23

Sheet Title:
**SITE PLAN -
OVERALL**

Sheet No:
C200

811
 Know what's below.
 Call before you dig.

NORTH

SCALE: 1"=100'